

BELLEVILLE PLANNING ADVISORY COMMITTEE

A G E N D A

JUNE 1, 2020

5:30 P.M.

COUNCIL CHAMBER

Starting
Page No.

CITY COUNCIL PLANNING COMMITTEE MEETING

1. ATTENDANCE

Councillor Paul Carr
Councillor Pat Culhane
Councillor Sean Kelly

Councillor Bill Sandison
Councillor Ryan Williams

2. DISCLOSURE OF PECUNIARY INTEREST AND THE GENERAL NATURE THEREOF

3. PUBLIC MEETING - THE PLANNING ACT

3.1 NOTICE OF COMPLETE APPLICATION AND INTRODUCTORY PUBLIC MEETING FOR APPLICATION FOR PROPOSED AMENDMENT TO ZONING BY-LAW NUMBER 3014, AS AMENDED – 8092 HIGHWAY 62, CITY OF BELLEVILLE, COUNTY OF HASTINGS
FILE NO.: B-77-1104
OWNER: GURINDER SARAN
APPLICANT: NITIN MALHOTRA

Notice of Meeting and Map

- 3.2 NOTICE OF COMPLETE APPLICATION AND INTRODUCTORY PUBLIC MEETING FOR APPLICATION FOR PROPOSED AMENDMENT TO ZONING BY-LAW NUMBER 3014, AS AMENDED – MILLENNIUM PARKWAY, PART OF LOTS 29 & 30, PLAN 22, PART 6, PLAN 21R20584, CITY OF BELLEVILLE, COUNTY OF HASTINGS
FILE NO.: B-77-1105
OWNER: 2737778 ONTARIO LTD.
APPLICANT: SUNNY PUNIA

Notice of Meeting and Map

5

- 3.3 NOTICE OF COMPLETE APPLICATION AND INTRODUCTORY PUBLIC MEETING FOR APPLICATION FOR PROPOSED AMENDMENT TO ZONING BY-LAW NUMBER 3014, AS AMENDED – 464 MITCHELL ROAD, CITY OF BELLEVILLE, COUNTY OF HASTINGS
FILE NUMBER: B-77-1106
OWNER/APPLICANT: SHAWN MILNE

Notice of Meeting and Map

9

- 3.4 NOTICE OF COMPLETE APPLICATION AND INTRODUCTORY PUBLIC MEETING FOR APPLICATION FOR PROPOSED AMENDMENT TO ZONING BY-LAW NUMBER 10245, AS AMENDED – 144 AVONDALE ROAD, CITY OF BELLEVILLE, COUNTY OF HASTINGS
FILE NUMBER: B-77-1107
OWNER/APPLICANT: MATT GIESEBRECHT
AGENT: CAITLIN SHEAHAN, AINLEY GROUP

Notice of Meeting and Map

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BELLEVILLE PLANNING ADVISORY COMMITTEE

A G E N D A

JUNE 1, 2020

5:30 P.M.

COUNCIL CHAMBER

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PLANNING ADVISORY COMMITTEE MEETING

1. ATTENDANCE

Councillor Paul Carr
Councillor Pat Culhane
Councillor Sean Kelly
Councillor Bill Sandison
Councillor Ryan Williams

John Baltutis
Kathryn Brown
Paul Jennings
David Joyce

2. DISCLOSURE OF PECUNIARY INTEREST AND THE GENERAL NATURE THEREOF

3. CONFIRMATION OF MINUTES

3.1 Minutes of the City Council Planning Committee Meeting and Planning Advisory Committee Meeting held on March 2, 2020 and the Special Planning Advisory Committee Meeting held on May 19, 2020

4. DEPUTATIONS

5. CORRESPONDENCE

6. REFERRALS FROM PUBLIC MEETING

- 6.1 **NOTICE OF COMPLETE APPLICATION AND INTRODUCTORY PUBLIC MEETING FOR APPLICATION FOR PROPOSED AMENDMENT TO ZONING BY-LAW NUMBER 3014, AS AMENDED – 8092 HIGHWAY 62, CITY OF BELLEVILLE, COUNTY OF HASTINGS**
FILE NO.: B-77-1104
OWNER: GURINDER SARAN
APPLICANT: NITIN MALHOTRA

Policy Planner's Report No. PP-2020-17

30

RESOLUTION

“THAT Report No. PP-2020-17 dated June 1, 2020 regarding Notice of Complete Application and Introductory Public Meeting for Application for Proposed Amendment to Zoning By-law Number 3014, As Amended – 8092 Highway 62, City of Belleville, County of Hastings be received as information; and

THAT Staff report back at such time as input from the public, commenting agencies, and municipal departments has been received, assessed, and addressed to the satisfaction of the Engineering and Development Services Department.”

- 6.2 **NOTICE OF COMPLETE APPLICATION AND INTRODUCTORY PUBLIC MEETING FOR APPLICATION FOR PROPOSED AMENDMENT TO ZONING BY-LAW NUMBER 3014, AS AMENDED – MILLENNIUM PARKWAY, PART OF LOTS 29 & 30, PLAN 22, PART 6, PLAN 21R20584, CITY OF BELLEVILLE, COUNTY OF HASTINGS**
FILE NO.: B-77-1105
OWNER: 2737778 ONTARIO LTD.
APPLICANT: SUNNY PUNIA

Policy Planner's Report No. PP-2020-18

131

RESOLUTION

“THAT Report No. PP-2020-18 dated June 1, 2020 regarding Notice of Complete Application and Introductory Public Meeting for Application for Proposed Amendment to Zoning By-law Number 3014, As Amended – Millennium Parkway,

Part of Lots 29 and 30, Plan 22, Part 6, Plan 21R20584, City of Belleville, County of Hastings be received as information; and

THAT Staff report back at such time as input from the public, commenting agencies, and municipal departments has been received, assessed, and addressed to the satisfaction of the Engineering and Development Services Department.”

- 6.3 **NOTICE OF COMPLETE APPLICATION AND INTRODUCTORY PUBLIC MEETING FOR APPLICATION FOR PROPOSED AMENDMENT TO ZONING BY-LAW NUMBER 3014, AS AMENDED – 464 MITCHELL ROAD, CITY OF BELLEVILLE, COUNTY OF HASTINGS
FILE NUMBER: B-77-1106
OWNER/APPLICANT: SHAWN MILNE**

Policy Planner’s Report No. PP-2020-19

256

RESOLUTION

“THAT Report No. PP-2020-19 dated June 1, 2020 regarding Notice of Complete Application and Introductory Public Meeting for Application for Proposed Amendment to Zoning By-law Number 3014, As Amended, 464 Mitchell Road, City of Belleville, County of Hastings be received as information; and

THAT Staff report back at such time as input from the public, commenting agencies, and municipal departments has been received, assessed, and addressed to the satisfaction of the Engineering and Development Services Department.”

- 6.4 **NOTICE OF COMPLETE APPLICATION AND INTRODUCTORY PUBLIC MEETING FOR APPLICATION FOR PROPOSED AMENDMENT TO ZONING BY-LAW NUMBER 10245, AS AMENDED – 144 AVONDALE ROAD, CITY OF BELLEVILLE, COUNTY OF HASTINGS
FILE NUMBER: B-77-1107
OWNER/APPLICANT: MATT GIESEBRECHT
AGENT: CAITLIN SHEAHAN, AINLEY GROUP**

Policy Planner’s Report No. PP-2020-20

271

RESOLUTION

“THAT Report No. PP-2020-20 dated June 1, 2020 regarding Notice of Complete Application and Introductory Public Meeting for Proposed Amendment to Zoning By-law Number 10245, As Amended – 144 Avondale Road, City of Belleville, County of Hastings be received as information; and

THAT Staff report back at such time as input from the public, commenting agencies, and municipal departments has been received, assessed, and addressed to the satisfaction of the Engineering and Development Services Department and following the Committee of Adjustment decision regarding Consent applications B11/20 and B12/20.”

- 6.5 **NOTICE OF COMPLETE APPLICATION AND INTRODUCTORY PUBLIC MEETING FOR APPLICATION FOR PROPOSED AMENDMENT TO THE LOYALIST SECONDARY PLAN, AS AMENDED, AND ZONING BY-LAW NUMBER 2076-80, AS AMENDED – WALLBRIDGE-LOYALIST ROAD, PART LOT 31, CONCESSION 1, PART 1, REGISTERED PLAN 21R-19789, CITY OF BELLEVILLE, COUNTY OF HASTINGS**
FILE NUMBER: B-77-1108
OWNER: QUINTE BUSINESS DEVELOPMENT CENTRE INC.
APPLICANT/AGENT: SPENCER HUTCHISON, RFA
PLANNING CONSULTANT INC.

Policy Planner’s Report No. PP-2020-25

290

RESOLUTION

“THAT Report No. PP-2020-25 dated June 1, 2020 regarding Notice of Complete Application and Introductory Public Meeting for Application for Proposed Amendments to the Loyalist Secondary Plan, As Amended, and Zoning By-Law Number 2076-80, As Amended – Wallbridge-Loyalist Road, Part Lot 31, Concession 1, Part 1, Registered Plan 21R-19789, City of Belleville, County of Hastings be received as information; and

THAT Staff report back at such time as input from the public, commenting agencies, and municipal departments has been

received, assessed, and addressed to the satisfaction of the Engineering and Development Services Department.”

- 6.6 **NOTICE OF COMPLETE APPLICATION AND INTRODUCTORY PUBLIC MEETING FOR APPLICATION FOR PROPOSED AMENDMENT TO ZONING BY-LAW NUMBER 3014, AS AMENDED – 247 HARMONY ROAD, CITY OF BELLEVILLE, COUNTY OF HASTINGS
FILE NUMBER: B-77-1109
OWNER/APPLICANT: MARLENE MACKENZIE
AGENT: KEITH WATSON, WATSON LAND SURVEYORS LTD.**

Principal Planner’s Report No. PP-2020-26

342

RESOLUTION

“THAT Report No. PP-2020-26 dated June 1, 2020 regarding Notice of Complete Application and Introductory Public Meeting for Application for Proposed Amendment to Zoning By-law Number 3014, As Amended – 247 Harmony Road, City of Belleville, County of Hastings be received as information; and

THAT Staff report back at such time as input from the public, commenting agencies, and municipal departments has been received, assessed, and addressed to the satisfaction of the Engineering and Development Services Department.”

- 6.7 **NOTICE OF COMPLETE APPLICATION AND INTRODUCTORY PUBLIC MEETING FOR APPLICATION FOR PROPOSED AMENDMENT TO ZONING BY-LAW NUMBER 3014, AS AMENDED – 406 MAITLAND DRIVE, CITY OF BELLEVILLE, COUNTY OF HASTINGS
FILE NUMBER: B-77-1110
OWNER: ANDY GEERTSMA
APPLICANT: G.C.C. DEVELOPMENTS LTD.**

Principal Planner’s Report No. PP-2020-27

352

RESOLUTION

“THAT Report No. PP-2020-27 dated June 1, 2020 regarding Notice of Complete Application and Introductory Public

Meeting for Proposed Amendment to Zoning By-law Number 3014, As Amended – 406 Maitland Drive, City of Belleville, County of Hastings be received as information; and

THAT Staff report back at such time as input from the public, commenting agencies, and municipal departments has been received, assessed, and addressed to the satisfaction of the Engineering and Development Services Department.”

7. REPORTS

8. INFORMATION MATTERS

**8.1 OFFICIAL PLAN AND ZONING BY-LAW AMENDMENT
MONITORING REPORT**

Report to June 1, 2020

396

9. GENERAL BUSINESS AND INQUIRIES

10. ADJOURNMENT



City of Belleville

Engineering & Development Services Department

Policy Planning Section

Telephone: 613-968-6481

Fax: 613-967-3262

Notice of Public Meeting

Zoning By-Law Amendment Application

8092 Highway 62, Belleville, ON

City Council Planning Advisory Committee

Monday, June 1st, 2020 at 5:30 P.M.

Due to the ongoing COVID-19 situation, the City of Belleville is now conducting all committee meetings virtually. Members of the public will still have the ability to provide input and watch meeting proceedings digitally.

A Public Meeting, as noted above, will be held on June 1, 2020 at 5:30 P.M. to consider an amendment to Zoning By-Law Number 3014, as amended, for a property located on the east side of Highway 62, south of Old Madoc Road, and north of Ducette Road, which is known municipally as 8092 Highway 62.

The property has approximately 63 metres of frontage on Highway 62. The Applicant requests to rezone the subject land from General Commercial (C3-4) Zone to a General Commercial (C3) Zone with special provisions to permit an eating establishment. A Location Plan is shown on APPENDIX 1 which is attached.

In the Official Plan, the subject land is designated as "Hamlet".

As per the requirements of the Planning Act, this application is confirmed to be complete.

Purpose of the Meeting:

The initial public meeting is held in accordance with the requirements of the Planning Act. The purpose of this meeting is for Committee Members to formally hear and receive public comments. The intent of this statutory public planning meeting is to receive public feedback and incorporate it into a recommendation report from Staff. No decision will be made during this meeting.

How to watch a meeting:

All committee meetings will be streamed live, available on the Belleville City Hall YouTube channel (<https://www.youtube.com/user/BellevilleCityHall>). The video will also be posted online following the meeting in the event you were unable to watch it live at the time it occurred.

How to participate in a meeting:

Written comments (via email or in writing) before a meeting

Residents are encouraged to make written comments or submissions before a meeting to committee by emailing mtmacdonald@belleville.ca or in writing to Matt MacDonald, Secretary, Planning Advisory Committee by mail at: Belleville City Hall, 169 Front Street, Belleville, K8N 2Y8.

Computer/smartphone/tablet

Members of the public will also be able to participate in committee meetings through Zoom. Interested residents can register by emailing planning@belleville.ca with their name, phone number, and the agenda item(s) they wish to speak to, or by calling 613-967-3288 and leaving a message with their name, phone number, and the agenda item(s) they wish to speak to. Those who have registered will be provided with the Zoom meeting information prior to the meeting date. Registration will close at 4 p.m. Thursday, May 28, 2020.

Telephone

To participate in a meeting via telephone, members of the public must register by calling 613-967-3288 and leave a message with their name, phone number and the agenda item(s) they wish to speak to; City staff will then contact the member of the public to confirm their participation and provide meeting details. Registration will close at 4 p.m. Thursday, May 28, 2020.

How to ask a question during the meeting:

Registered members of the public will be able to provide comments and ask questions during committee meetings in the same manner as in-person committee meetings. The Chair of the meeting will open the floor to public comments – any member of the public participating through Zoom that wishes to speak will need to click the ‘Raise Hand’ button to request to speak. The raise hand button is on the right hand side of the Zoom meeting screen under the ‘Participants’ tab. Any member of the public participating by telephone will be given an opportunity to provide comments and ask questions.

How to submit comments after a meeting:

If you missed the live meeting, had technical issues, or prefer to submit comments following the public meeting, you may email your comments to planning@belleville.ca. The City encourages these comments to be submitted within seven (7) days of the meeting so that the comments can be reviewed by Planning Staff before they prepare a final recommendation report.

How to be notified of the decision:

If you wish to be notified of the decision of the City of Belleville or Belleville Planning Advisory Committee in respect of this application, you must submit a **written** request to Matt MacDonald, Secretary, Planning Advisory Committee by mail at: Belleville City Hall, 169 Front Street, Belleville, K8N 2Y8, or by email at: mtmacdonald@belleville.ca.



City of Belleville

Engineering & Development Services Department

Policy Planning Section

Telephone: 613-968-6481

Fax: 613-967-3262

How to appeal the decision:

If a person or public body would otherwise have an ability to appeal the decision of the City of Belleville to the Local Planning Appeal Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of Belleville before the by-law is passed, the person or public body is **not** entitled to appeal the decision and that person or public body may **not** be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so. Please be further advised that written submissions received prior to the public meeting may be made available to the Applicant.

For more information:

For more information visit the City's website or contact the Planning Section, Engineering & Development Services Department by email: planning@belleville.ca or by telephone: 613-967-3288.

Matt MacDonald,
Secretary,
Planning Advisory Committee

DATED at the City of Belleville this 11th day of May, 2020.

APPENDIX 1



PROPOSED ZONING BY-LAW AMENDMENT

LOCATION: 8092 HIGHWAY 62



- SUBJECT LANDS



- PROPOSED ZONING CHANGE TO C3 (GENERAL COMMERCIAL) WITH SPECIAL PROVISIONS



CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT
SERVICES DEPARTMENT

B-77-1104



City of Belleville

Engineering & Development Services Department

Policy Planning Section

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Notice of Public Meeting

Zoning By-Law Amendment Application

Millennium Parkway, Part of Lots 29 & 30, Plan 22, Part 6, Plan 21R20584

Belleville, ON

City Council Planning Advisory Committee

Monday, June 1st, 2020 at 5:30 P.M.

Due to the ongoing COVID-19 situation, the City of Belleville is now conducting all committee meetings virtually. Members of the public will still have the ability to provide input and watch meeting proceedings digitally.

A Public Meeting, as noted above, will be held on June 1, 2020 at 5:30 P.M. to consider an amendment to Zoning By-Law Number 3014, as amended, for a property located on the north side of Millennium Parkway, west of Highway 62, and east of Sidney Street North, which is known as Millennium Parkway, Part of Lots 29 & 30, Plan 22, Part 6, Plan 21R20584.

The property has approximately 53 metres of frontage on Millennium Parkway. The Applicant requests to rezone the subject land from Service Industrial (SI-2-H) Zone to Highway Commercial (C1) Zone with special provisions for relief on the minimum front yard setback, maximum building height, minimum landscaping strip, and minimum parking space width. A Location Plan is shown on APPENDIX 1 which is attached.

In the Official Plan, the subject land is designated as "Commercial".

As per the requirements of the Planning Act, this application is confirmed to be complete.

Purpose of the Meeting:

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How to submit comments after a meeting:

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How to be notified of the decision:

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City of Belleville

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For more information:

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Matt MacDonald,
Secretary,
Planning Advisory Committee

DATED at the City of Belleville this 11th day of May, 2020.

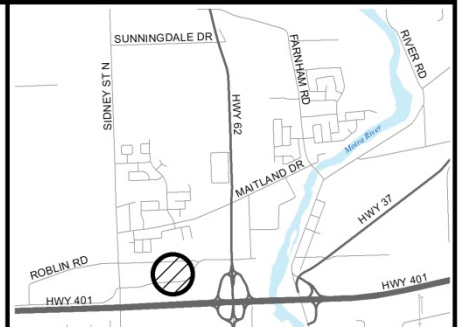
APPENDIX 1



PROPOSED ZONING BY-LAW AMENDMENT

LOCATION: PT. LOTS 29 & 30, REGISTERED PLAN NO. 22

-  - SUBJECT LANDS
-  - PROPOSED ZONING CHANGE TO C1 (HIGHWAY COMMERCIAL) WITH SPECIAL PROVISIONS



CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT SERVICES DEPARTMENT

B-77-1105



City of Belleville

Engineering & Development Services Department

Policy Planning Section

Telephone: 613-968-6481

Fax: 613-967-3262

Notice of Public Meeting

Zoning By-Law Amendment Application

464 Mitchell Road, Belleville, ON

City Council Planning Advisory Committee

Monday, June 1st, 2020 at 5:30 P.M.

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A Public Meeting, as noted above, will be held on June 1, 2020 at 5:30 P.M. to consider an amendment to Zoning By-Law Number 3014, as amended, for a property located on the southeast corner of Mitchell Road and Airport Parkway, which is known municipally as 464 Mitchell Road.

The property has approximately 370 metres of frontage on Mitchell Road. The Applicant requests to rezone the subject land for special provisions to add brewery and distillery as a permitted accessory use to the Prime Agriculture (PA) Zone. A Location Plan is shown on APPENDIX 1 which is attached.

In the Official Plan, the subject land is designated as "Agriculture".

As per the requirements of the Planning Act, this application is confirmed to be complete.

Purpose of the Meeting:

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City of Belleville

Engineering & Development Services Department

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Matt MacDonald,
Secretary,
Planning Advisory Committee

DATED at the City of Belleville this 11th day of May, 2020.

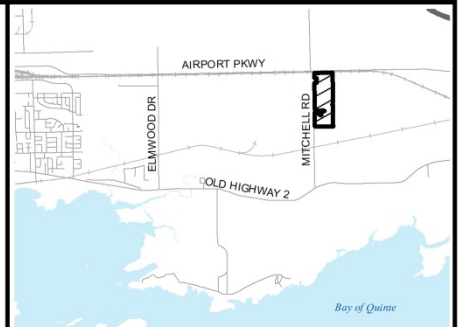
APPENDIX 1



PROPOSED ZONING BY-LAW AMENDMENT

LOCATION: 464 MITCHELL RD

-  - SUBJECT LANDS
-  - PROPOSED ZONING CHANGE TO PA (PRIME AGRICULTURE) WITH SPECIAL PROVISIONS



CITY OF BELLEVILLE
 ENGINEERING & DEVELOPMENT
 SERVICES DEPARTMENT

B-77-1106



City of Belleville

Engineering & Development Services Department

Policy Planning Section

Telephone: 613-968-6481

Fax: 613-967-3262

Notice of Public Meeting

Zoning By-Law Amendment Application

144 Avondale Road, Belleville, ON

City Council Planning Advisory Committee

Monday, June 1st, 2020 at 5:30 P.M.

Due to the ongoing COVID-19 situation, the City of Belleville is now conducting all committee meetings virtually. Members of the public will still have the ability to provide input and watch meeting proceedings digitally.

A Public Meeting, as noted above, will be held on June 1, 2020 at 5:30 P.M. to consider an amendment to Zoning By-Law Number 10245, as amended, for a property located on the northeast corner of Avondale Road and Aldersgate Drive, which is known municipally as 144 Avondale Road.

The property has approximately 21 metres of frontage on Avondale Road. The Applicant requests to rezone the severed parcels from Residential First Density (R1) Zone to Residential Second Density (R2) Zone as a condition of consent applications B11/20 and B12/20. A Location Plan is shown on APPENDIX 1 which is attached.

In the Official Plan, the subject land is designated as "Residential".

As per the requirements of the Planning Act, this application is confirmed to be complete.

Purpose of the Meeting:

The initial public meeting is held in accordance with the requirements of the Planning Act. The purpose of this meeting is for Committee Members to formally hear and receive public comments. The intent of this statutory public planning meeting is to receive public feedback and incorporate it into a recommendation report from Staff. No decision will be made during this meeting.

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City of Belleville

Engineering & Development Services Department

Policy Planning Section

Telephone: 613-968-6481

Fax: 613-967-3262

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Matt MacDonald,
Secretary,
Planning Advisory Committee




DATED at the City of Belleville this 11th day of May, 2020.

APPENDIX 1

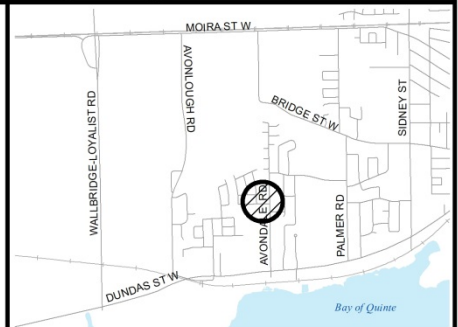


PROPOSED ZONING BY-LAW AMENDMENT

LOCATION: 144 AVONDALE RD

-  - SUBJECT LANDS
-  - PROPOSED ZONING CHANGE TO R2
- (RESIDENTIAL SECOND DENSITY)
-  - PROPOSED SEVERED PROPERTIES

B-77-1107



CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT
SERVICES DEPARTMENT



City of Belleville

Engineering & Development Services Department

Policy Planning Section

Telephone: 613-968-6481

Fax: 613-967-3262

Notice of Public Meeting

Official Plan and Zoning By-Law Amendment Application

Wallbridge-Loyalist Road, Part Lot 31, Concession 1, Part 1 on Registered Plan 21R19789
Belleville, ON

City Council Planning Advisory Committee

Monday, June 1st, 2020 at 5:30 P.M.

Due to the ongoing COVID-19 situation, the City of Belleville is now conducting all committee meetings virtually. Members of the public will still have the ability to provide input and watch meeting proceedings digitally.

A Public Meeting, as noted above, will be held on June 1, 2020 at 5:30 P.M. to consider amendments to the Loyalist Secondary Plan and Zoning By-Law Number 2076-80, as amended, for a property located on the east side of Wallbridge-Loyalist Road, north of Dundas Street West, and south of Moira Street West.

The property has approximately 60 metres of frontage on Wallbridge-Loyalist Road. The application proposes to re-designate the subject land from "Residential" to "Community Facility" in the Loyalist Secondary Plan, and to amend Zoning By-Law 2076-80 and rezone the subject land from Rural Residential (RR-44) Zone to Community Facility (CF) Zone to permit a 600 square metre business development office. A Location Plan is shown on APPENDIX 1 and APPENDIX 2, which are attached.

Appendix 1: Proposed Zoning

Appendix 2: Proposed Official Plan Designation

As per the requirements of the Planning Act, this application is confirmed to be complete.

Purpose of the Meeting:

The initial public meeting is held in accordance with the requirements of the Planning Act. The purpose of this meeting is for Committee Members to formally hear and receive public comments. The intent of this statutory public planning meeting is to receive public feedback and incorporate it into a recommendation report from Staff. No decision will be made during this meeting.

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Matt MacDonald,
Secretary,
Planning Advisory Committee


DATED at the City of Belleville this 11th day of May, 2020.


APPENDIX 1

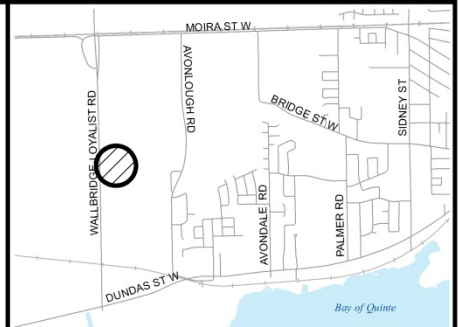


PROPOSED ZONING BY-LAW AMENDMENT

LOCATION: WALLBRIDGE-LOYALIST RD

 - SUBJECT LANDS

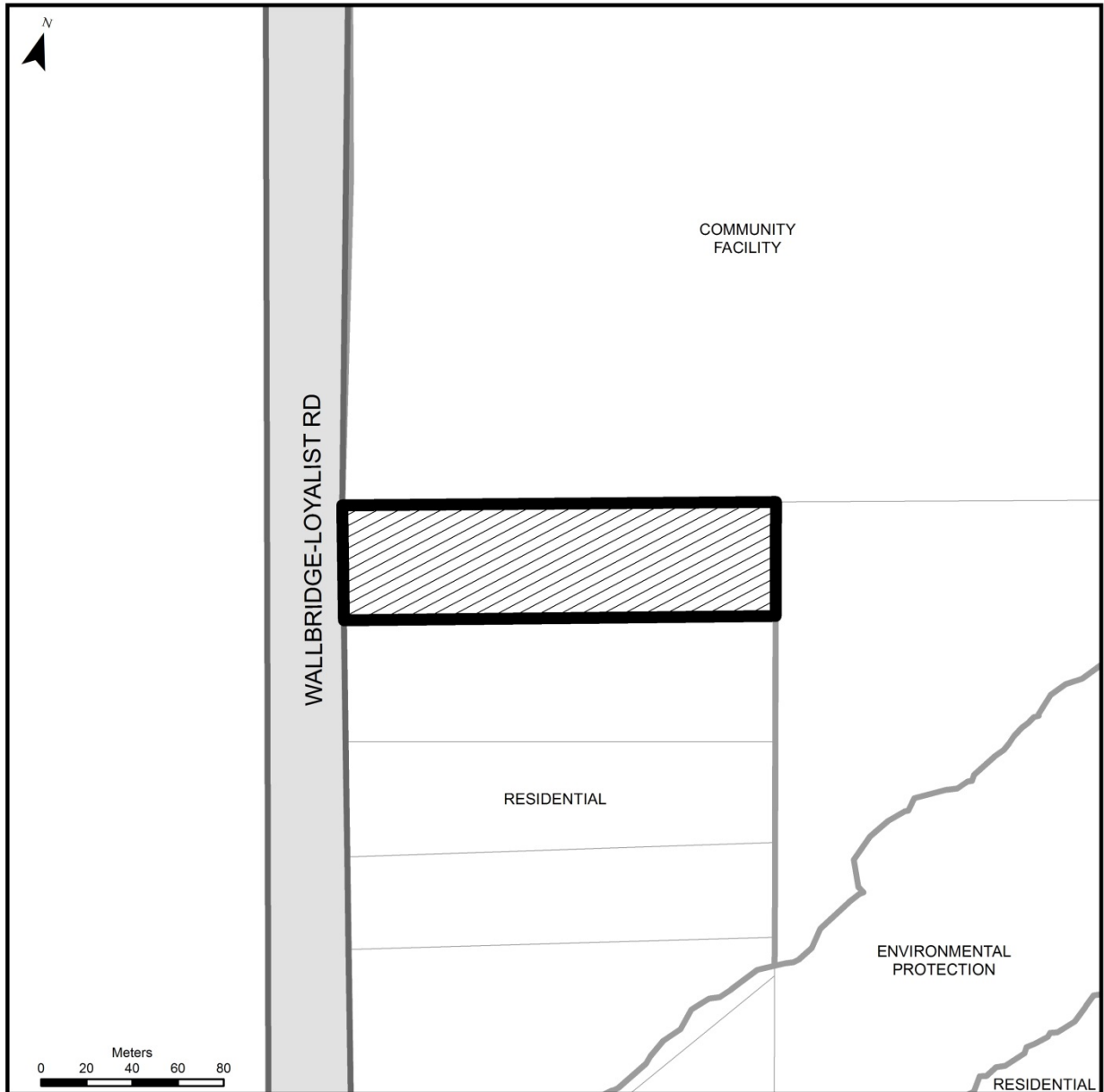
 - PROPOSED ZONING CHANGE TO CF (COMMUNITY FACILITY)



CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT SERVICES DEPARTMENT

B-77-1108

APPENDIX 2

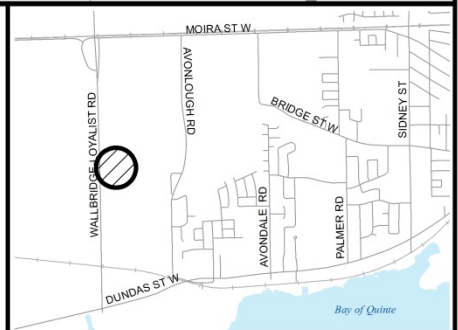


PROPOSED OFFICIAL PLAN AMENDMENT

LOCATION: WALLBRIDGE-LOYALIST RD



PROPOSED DESIGNATION CHANGE FROM RESIDENTIAL LAND USE TO COMMUNITY FACILITY



CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT SERVICES DEPARTMENT

B-50-3-31



City of Belleville

Engineering & Development Services Department

Policy Planning Section

Telephone: 613-968-6481

Fax: 613-967-3262

Notice of Public Meeting

Zoning By-Law Amendment Application

247 Harmony Road, Belleville, ON

City Council Planning Advisory Committee

Monday, June 1st, 2020 at 5:30 P.M.

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A Public Meeting, as noted above, will be held on June 1, 2020 at 5:30 P.M. to consider an amendment to Zoning By-Law Number 3014, as amended, for a property located on the north side of Harmony Road, east of River Road, and west of Homan Road, which is known municipally as 247 Harmony Road.

The property has approximately 44.5 metres of frontage on Harmony Road. The Applicant requests to rezone the retained portion of the subject land from Prime Agriculture (PA) Zone to Rural Residential (RR) Zone as a condition of Consent Application B5/20.A Location Plan is shown on APPENDIX 1 which is attached.

In the Official Plan, the subject land is designated as "Rural".

As per the requirements of the Planning Act, this application is confirmed to be complete.

Purpose of the Meeting:

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City of Belleville

Engineering & Development Services Department

Policy Planning Section

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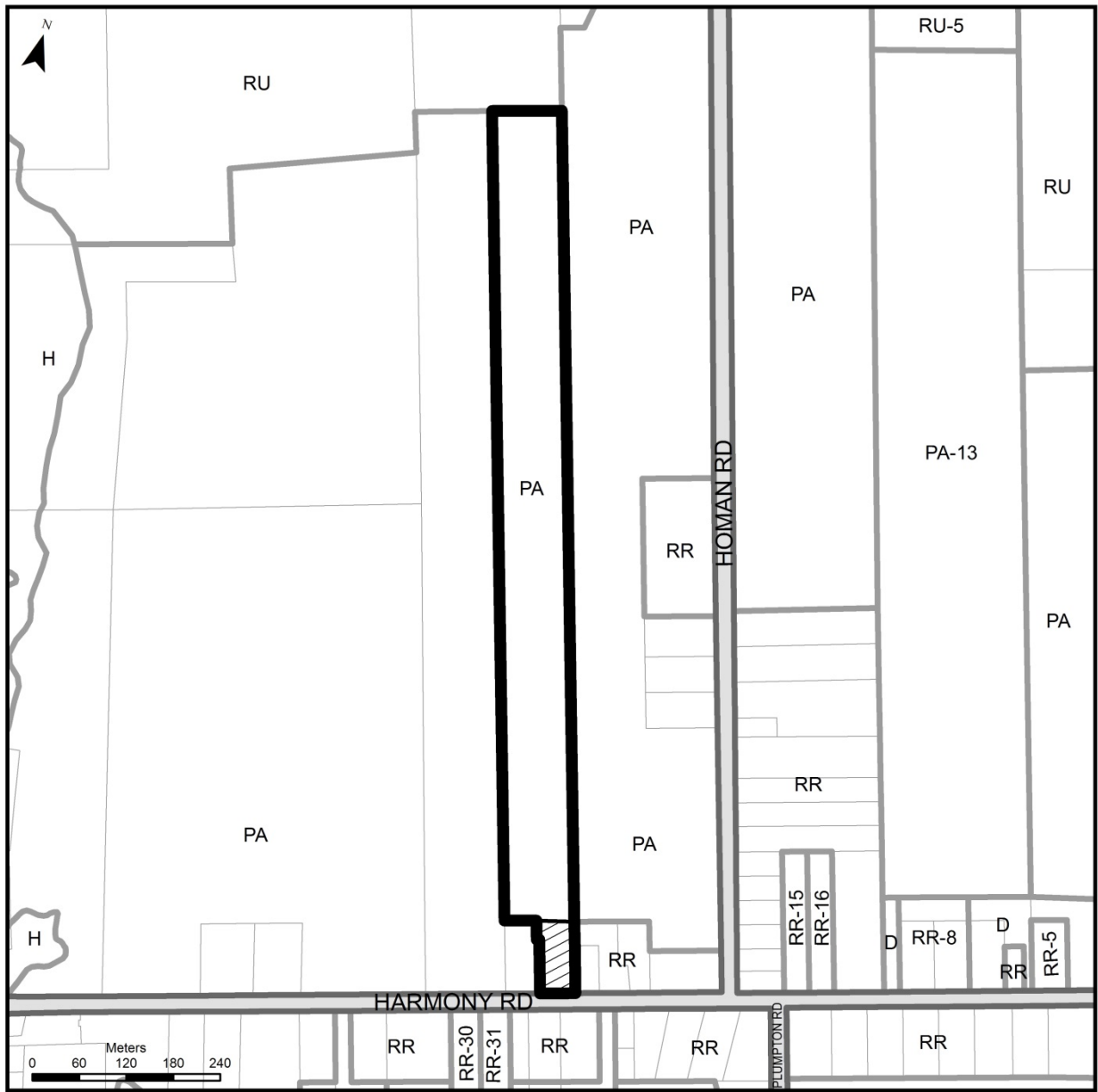
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Matt MacDonald,
Secretary,
Planning Advisory Committee


DATED at the City of Belleville this 11th day of May, 2020.


APPENDIX 1



PROPOSED ZONING BY-LAW AMENDMENT

LOCATION: 247 HARMONY RD

 - SUBJECT LANDS

 - PROPOSED ZONING CHANGE TO RR (RURAL RESIDENTIAL)

B-77-1109



CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT
SERVICES DEPARTMENT



City of Belleville

Engineering & Development Services Department

Policy Planning Section

Telephone: 613-968-6481

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Notice of Public Meeting

Zoning By-Law Amendment Application

406 Maitland Drive, Belleville, ON

City Council Planning Advisory Committee

Monday, June 1st, 2020 at 5:30 P.M.

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A Public Meeting, as noted above, will be held on June 1, 2020 at 5:30 P.M. to consider an amendment to Zoning By-Law Number 3014, as amended, for a property located on the south side of Maitland Drive, east of Parks Drive, and west of Farnham Road, which is known municipally as 406 Maitland Drive.

The property has approximately 61.4 metres of frontage on Maitland Drive. The Applicant requests to rezone the subject land to include veterinary clinic as a permitted use in the General Industrial (M1-16) Zone. A Location Plan is shown on APPENDIX 1 which is attached.

In the Official Plan, the subject land is designated as “Industrial” and “Open Space”.

As per the requirements of the Planning Act, this application is confirmed to be complete.

Purpose of the Meeting:

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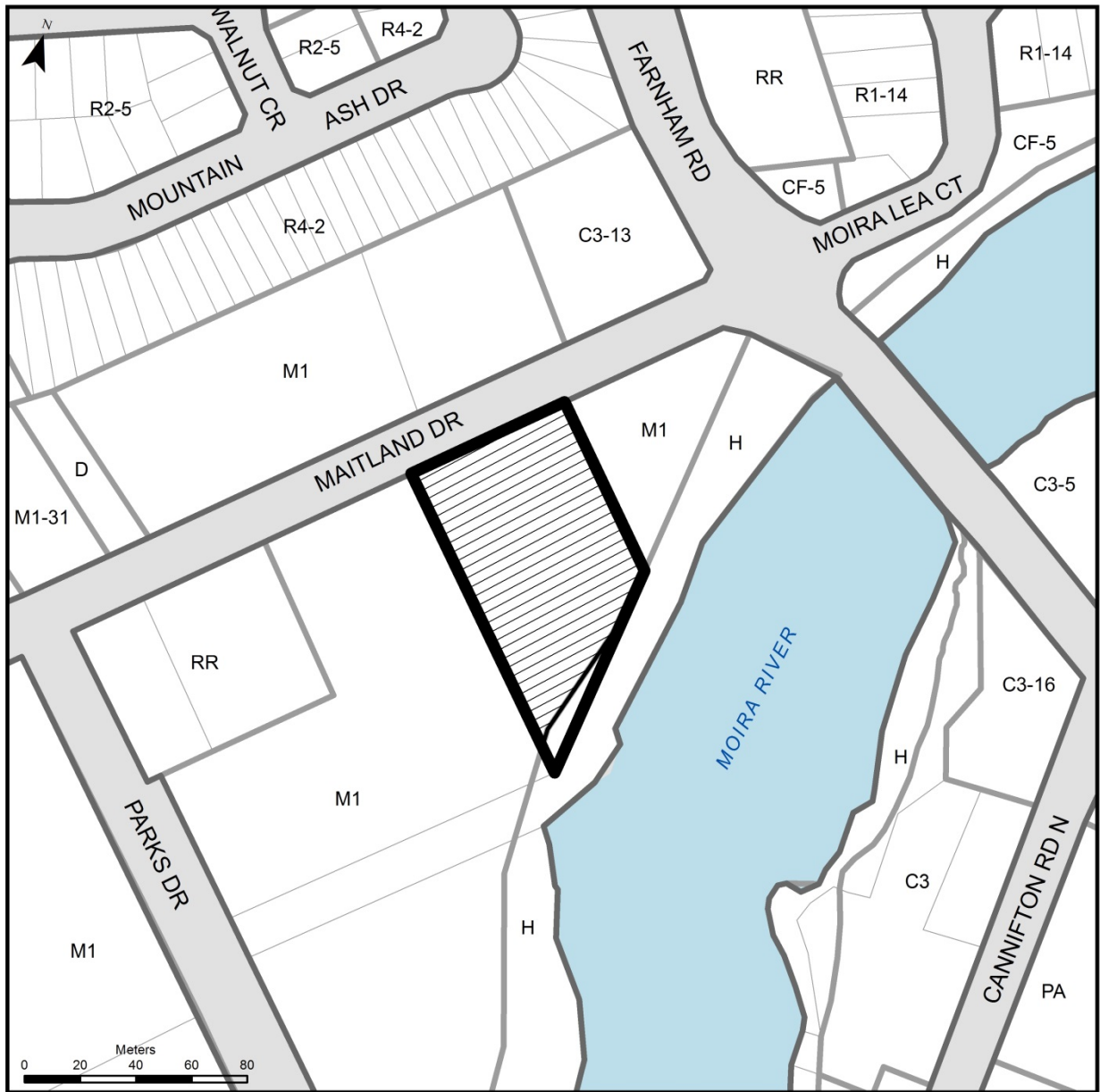
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Matt MacDonald,
Secretary,
Planning Advisory Committee


DATED at the City of Belleville this 11th day of May, 2020.

APPENDIX 1

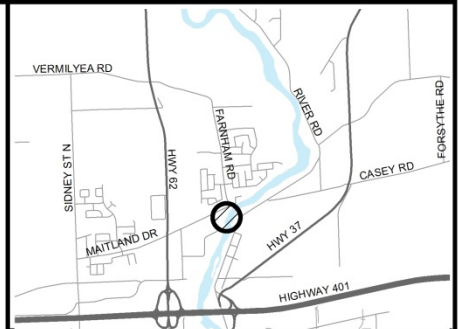


PROPOSED ZONING BY-LAW AMENDMENT

LOCATION: 406 MAITLAND DR

 - SUBJECT LANDS

 - PROPOSED ZONING CHANGE TO AMENDED M1-16 (GENERAL INDUSTRIAL WITH SPECIAL PROVISIONS)



CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT SERVICES DEPARTMENT

B-77-1110



APPROVAL BLOCK

DE & DS SA
MPP Andrew Chan

CITY OF BELLEVILLE
Andrew Chan, Policy Planner
Engineering and Development Services Department
Report No. PP-2020-17
June 1, 2020

To: Belleville Planning Advisory Committee

Subject: Notice of Complete Application and Introductory Public Meeting for Application for Proposed Amendment to Zoning By-Law Number 3014, As Amended
8092 Highway 62, City of Belleville
OWNER: Gurinder Saran
APPLICANT: Nitin Malhotra

File: B-77-1104

Recommendation:

"That Report No. PP-2020-17 dated June 1, 2020 regarding Notice of Complete Application and Introductory Public Meeting for Application for Proposed Amendment to Zoning By-Law Number 3014, As Amended – 8092 Highway 62, City of Belleville, County of Hastings be received as information, and;

That Staff report back at such time as input from the public, commenting agencies, and municipal departments has been received, assessed, and addressed to the satisfaction of the Engineering and Development Services Department."

Background:

An application for 8092 Highway 62 was received by the City of Belleville on February 10, 2020. The subject land is identified on the attached Location and Existing Zoning Map (Attachment #1).

The initial public meeting is held in accordance with the requirements of the Planning Act. The purpose of this meeting is for Committee Members to formally hear and receive public comments. The intent of this statutory public planning meeting is to receive public feedback and incorporate it into a recommendation report from Staff.

The Applicant is proposing to rezone the subject land from General Commercial (C3-4) Zone to General Commercial (C3) Zone with special

provisions to permit an eating establishment. The proposed zoning is shown on the Proposed Zoning Map (Attachment #2).

Site details for the subject land:

| Site Review | Description |
|---|--|
| Site Location | The subject land is municipally known as 8092 Highway 62 which is located on the east side of Highway 62, south of Old Madoc Road, and north of Ducette Road |
| Site Size | ~0.4 ha |
| Present Use | Vacant |
| Proposed Use | Gas bar, convenience store, and eating establishment with drive-thru |
| Belleville Official Plan Designation | Hamlet |
| Present Zone Category | General Commercial (C3-4) Zone |
| Proposed Zone Category | General Commercial (C3) Zone with special provisions to permit an eating establishment |
| Land uses to the north | Retail establishment for home and building Supply |
| Land uses to the east | Vacant |
| Land uses to the south | Salvage Yard |
| Land uses to the west | Residential |

In support of the application, the following was submitted:

- A Site Plan (Attachment #4);
- A Planning Justification Report (Attachment #5); and
- A Functional Servicing and Stormwater Management Report (Attachment #6).

These documents are available online for public review at www.belleville.ca/DevelopmentApplications.

Proposal

The Applicant is proposing to rezone the subject land from General Commercial (C3-4) Zone to General Commercial (C3) Zone with special provisions to facilitate the development of the lands for a gas bar, with an associated convenience store, and an eating establishment. The proposed zoning is shown on the Proposed Zoning Map (Attachment #2).

Provincial Policy Statement

Municipalities are required to ensure all decisions related to land use planning matters shall be consistent with the Provincial Policy Statement.

Planning Staff will consider the following policies in the PPS:

- 1.1.1 Healthy, livable and safe communities are sustained by:
- a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;
 - e) promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;
- 1.1.3.1 Settlement areas shall be the focus of growth and development.
- 1.1.3.2 Land use patterns within settlement areas shall be based on densities and a mix of land uses which:
- a) efficiently use land and resources;
 - b) are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;
 - c) minimize negative impacts to air quality and climate change, and promote energy efficiency;
 - e) support active transportation;
 - f) are transit-supportive, where transit is planned, exists or may be developed.
- 1.1.3.4 Appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form, while avoiding or mitigating risks to public health and safety.

Official Plan

The current Official Plan was adopted by City Council on June 18, 2001 and approved by the Ministry of Municipal Affairs and Housing on January 7, 2002. Since 2002, a significant number of new and updated policies and legislation have occurred at the provincial level. The City is currently undertaking a Municipal Comprehensive Review and update to the policies of the Official Plan to ensure they comply with current provincial policies and legislation. The City will have to comply with the province's new legislation, regulations, and policies when updating the Official Plan.

The land is designated "Hamlet" in the City's Official Plan (Attachment #3 – Official Plan Designation Map). Planning Staff use the policies within the Official Plan to make recommendations.

The following policies regarding the Hamlet Land Use will be considered:

- Commercial uses permitted in Hamlets may include a wide range of commercial uses that provide services for residents of the Hamlet and the surrounding area, and the traveling public. Commercial development should generally be small scale and be permitted only along the main roads in the Hamlets. Such uses should be located in groupings as much as possible along the main roads.
- Commercial and industrial uses should be compatible with surrounding uses, both existing and proposed, particularly with regard to appearance, traffic generation potential, noise and any other potential nuisance features.
- The lot size and shape for new commercial and industrial uses should be appropriate to allow the use and all related accessory uses, adequate ingress and egress, as well as buffering such as fencing, landscaping, and distance separation.
- Commercial and industrial uses should not be permitted within a Hamlet unless the lot is sufficiently large to accommodate the development on private water and sewer services with appropriate separation distances between water sources and septic systems, unless communal services are provided in which case it should be determined that sufficient capacity exists in the communal system to adequately service the proposed use.
- All new commercial and industrial development should recognize and respect the historical or built heritage of the Hamlet; new development should be compatible with the historical scale, function, aesthetics and streetscape of the Hamlet.
- Adequate buffering should be provided between the commercial or industrial use and any adjacent residential areas.

Zoning By-Law

Currently, the subject land is zoned General Commercial (C3-4) Zone. The following uses are currently permitted on the subject land:

| General Commercial (C3-4) Zone Permitted Uses | |
|--|--|
| • Administrative, business or professional office | • Motor vehicle repair & service including gasoline bar |
| • Bank, trust company or other financial institution | • Outside Display & Storage of Goods & Materials as part of a permitted use herein |
| • Bus depot | • Parking lot |
| • Clinic | • Printing or publishing establishment |
| • Dry cleaner establishment | • Retail commercial establishment |
| • Funeral home | • Service shop including personal service |
| • Laundry, including coin-operated laundry | • Taxi stand |

The General Commercial (C3-4) Zone Exception does not list eating establishment as a permitted use. To facilitate the proposed use of the

subject land, the applicant is proposing to rezone the subject land to General Commercial (C3) Zone with special provisions to include eating establishment as a permitted use.

Eating establishment is defined as a building or part of a building where food is offered for sale or sold to the public for immediate consumption and includes such uses as a restaurant, dining room, café, cafeteria, ice cream parlour, tea or lunch room, dairy bar, coffee shop, snack bar or refreshment room or stand; but does not include a boarding or lodging house.

Public Comments

On March 13, 2020, a written notice and location map was mailed by first class mail to all registered owners of land within 120 metres of the subject property. The notice provided information that a public meeting was scheduled for April 6, 2020.

Similarly, a sign was placed on the subject land notifying the general public that a public meeting was scheduled for April 6, 2020.

Due to circumstances surrounding COVID-19, the Public Meeting scheduled for April 6, 2020 was cancelled, and a Notice of cancellation was issued.

On May 11, 2020, a new written notice and location map was mailed by first class mail to all registered owners of land within 120 metres of the subject property. The notice provided information that a Public Meeting was scheduled for June 1, 2020.

A new sign was placed on the subject land notifying the general public that a public meeting was scheduled for June 1, 2020.

At the time of writing this report, no correspondence from the public has been received by the City regarding this application.

Staff and Agency Comments

External Agency Circulation

The subject application was circulated for comment to the Algonquin & Lakeshore Catholic School Board, the Hastings & Prince Edward District School Board, Hastings and Prince Edward Health Unit, Bell Canada, Canada Post, Ontario Power Generation, Union Gas, Elexicon Energy, Hydro One, TransCanada Pipeline, Enbridge Pipelines, Trans-Northern Pipelines, MPAC, the Health Unit, the City of Quinte West, and the Ministry of Transportation.

Quinte Conservation has provided correspondence stating that that they have no objections to the application.

At the time of writing this report, no other comments or concerns have been received regarding this application.

Internal Department Circulation

The subject application was circulated for comment to the Belleville Fire Department, Belleville Police Service, the General Manager of Transportation & Operations Department, General Manager of Environmental Services, the Director of Recreation, Culture and Community Services, the Manager of Parks & Open Spaces, the Chief Administrative Officer, the Manager of Economic & Strategic Initiatives, the City Clerk, the Chief Building Official, the Manager of Approvals, and the Accessibility Co-ordinator.

Belleville Parks & Open Spaces, Fire Department, and Recreation, Culture and Community Services have provided correspondence that they have no objections to the application.

At the time of writing this report, no other comments or concerns have been received regarding this application.

Considerations:

Public

Circulation to the public complies with the requirements of the Planning Act, R.S.O. 1990.

Financial

The fees of the application have been received by the City.

Impact on and input from other Departments/Sources

Circulation of this application to other departments/agencies has occurred.

Strategic Plan Alignment

The City of Belleville's Strategic Plan identifies nine strategic themes. This application aligns with the City's nine strategic themes and the City's mission statement.

Conclusion:

Comments received at this public meeting, as well as subsequent written comments will be considered by the Engineering and Development Services Department in analysis of the application received to amend the City of

Belleville Zoning By-Law 3014. A recommendation report will be brought forward upon receipt of all agency and public comments.

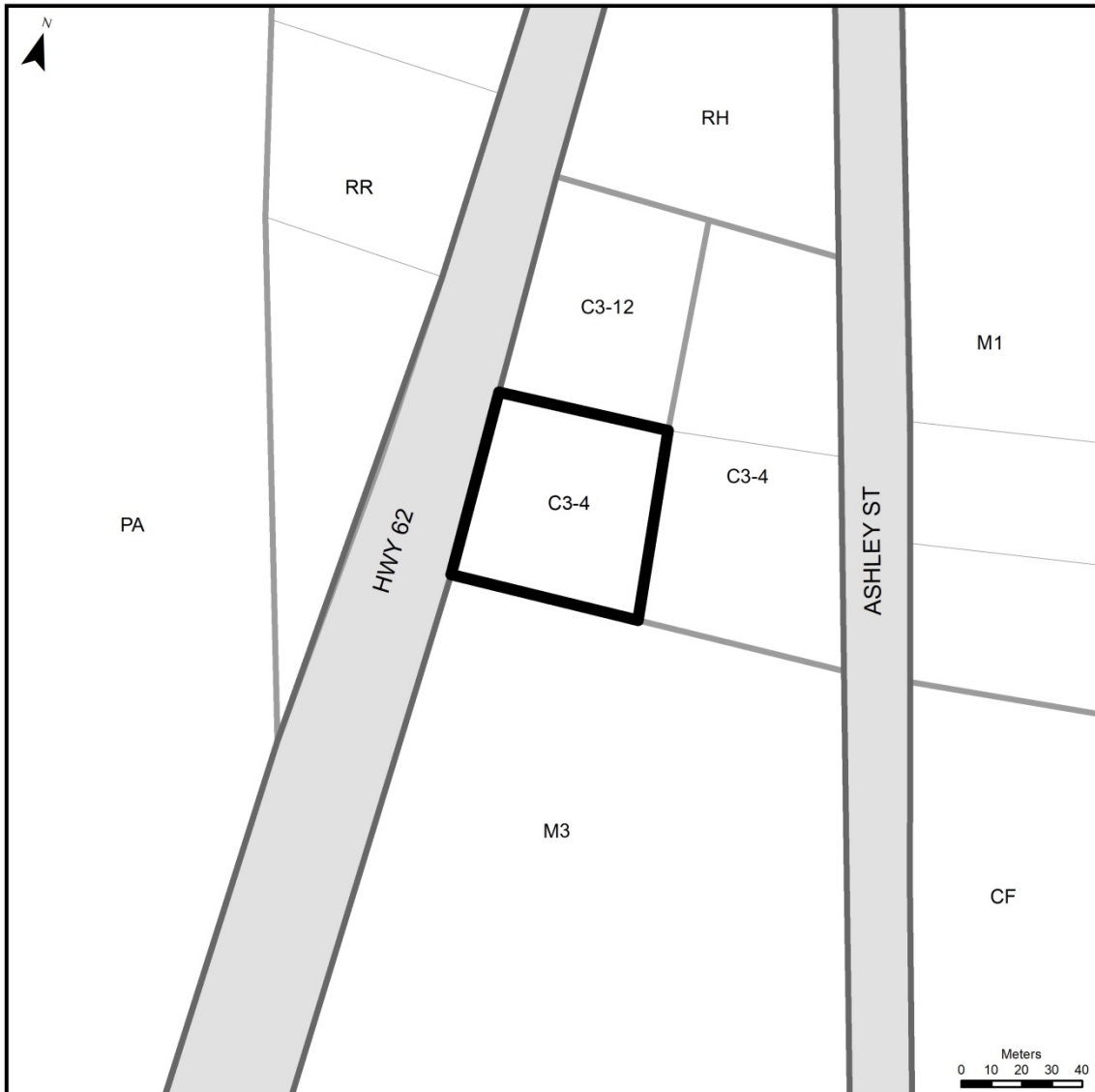
Respectfully submitted,



Andrew Chan, BES
Policy Planner, Policy Planning
Engineering and Development Services Department

Attachments

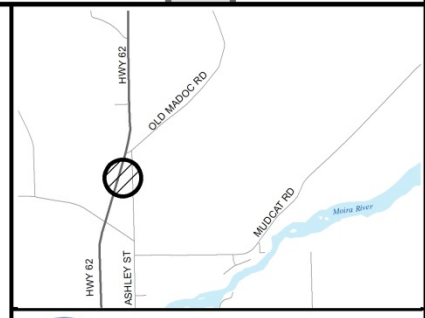
- Attachment #1 – Location and Existing Zoning Map
- Attachment #2 – Proposed Zoning Map
- Attachment #3 – Official Plan Designation
- Attachment #4 – Site Plan
- Attachment #5 – Planning Justification Report
- Attachment #6 – Functional Servicing and Stormwater Management Report




LOCATION MAP EXISTING ZONING

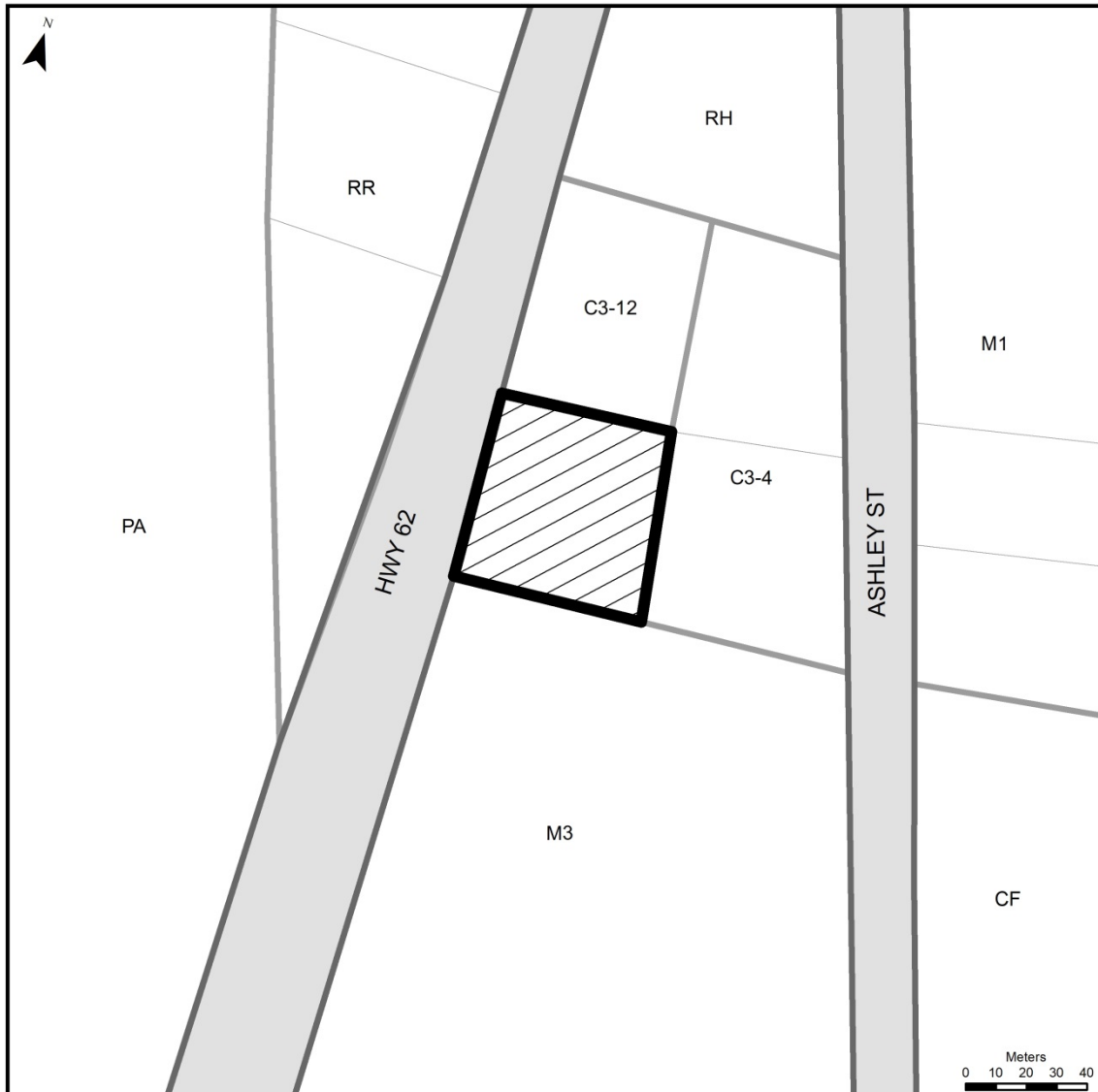
LOCATION: 8092 HIGHWAY 62

 - SUBJECT LANDS



 **CITY OF BELLEVILLE**
ENGINEERING & DEVELOPMENT
SERVICES DEPARTMENT

B-77-1104



PROPOSED ZONING BY-LAW AMENDMENT

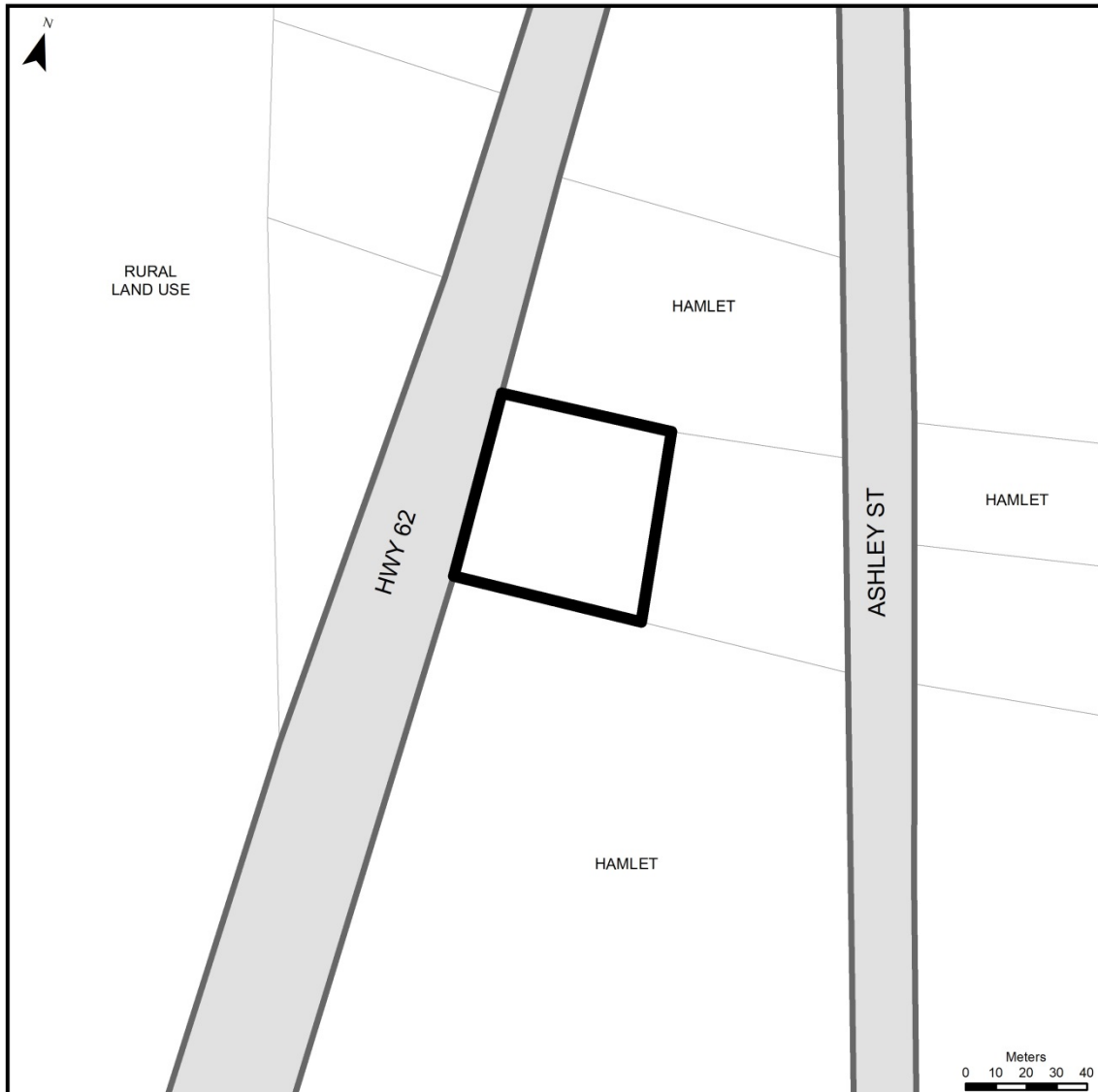
LOCATION: 8092 HIGHWAY 62

-  - SUBJECT LANDS
-  - PROPOSED ZONING CHANGE TO C3 (GENERAL COMMERCIAL) WITH SPECIAL PROVISIONS



CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT
SERVICES DEPARTMENT

B-77-1104



LOCATION MAP LAND USE

LOCATION: 8092 HIGHWAY 62

 - SUBJECT LANDS



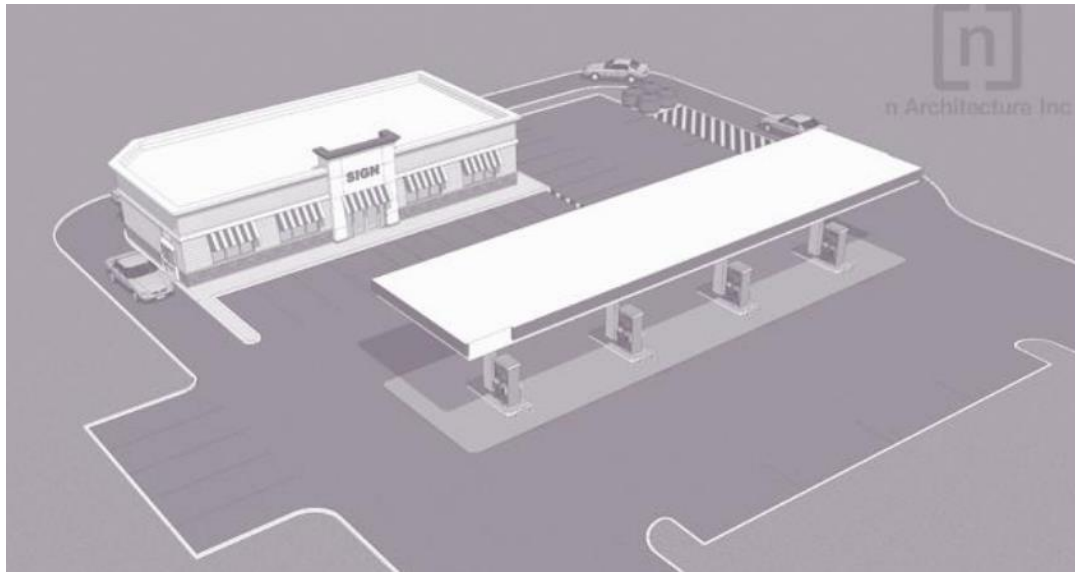
CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT
SERVICES DEPARTMENT

B-77-1104

PP-2020-17

Attachment #5
Planning Justification Report

June 1, 2020



PLANNING JUSTIFICATION REPORT

Prepared by

Katie Pandey, MAES, MCIP, RPP

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1.0 INTRODUCTION

KP Consultants has been retained by n Architecture Inc (the “applicant”), with respect to the development of their lands municipally known as 8092 Highway 62, in the City of Belleville (the “subject lands”) (refer to Figure 1). The owner has submitted application for a Zoning By-law Amendment to facilitate the development of the lands for a gas bar, with an associated convenience store, and an eating establishment. An application for Site Plan Approval is required and is already submitted to the City. This report is intended to provide a planning analysis and justification in support of the proposed development and the application submitted

2.0 SITE AND SURROUNDING AREA

The subject lands consist of a vacant parcel of land, located on the east side of the Highway 62 Road, south of Old Mac Road and west of Ashley Road. The lands have an area of 0.41 ha (1.01 ac) and frontages of 61.20 m (200.78 ft) on Highway 62. The lands have a gradual slope from the southwest to the southeast, with a grade change of approximately 2 metres.

Land uses abutting the subject lands include (See **Figures 1 and 2**):

North: Hardware store, East: Vacant land, South: Vacant zoned as Industrial and West: Rural Residential use

FIGURE 1 – LOCATION MAP



FIGURE 2 –SITE PICTURE



3.0 DEVELOPMENT PROPOSAL

As stated above, applications for a Zoning By-law Amendment and Site Plan Approval have been submitted to the City of Belleville. The applications have been submitted to facilitate the development of the lands for, a gas bar and associated convenience store, and an eating establishment, with a drive-through component.

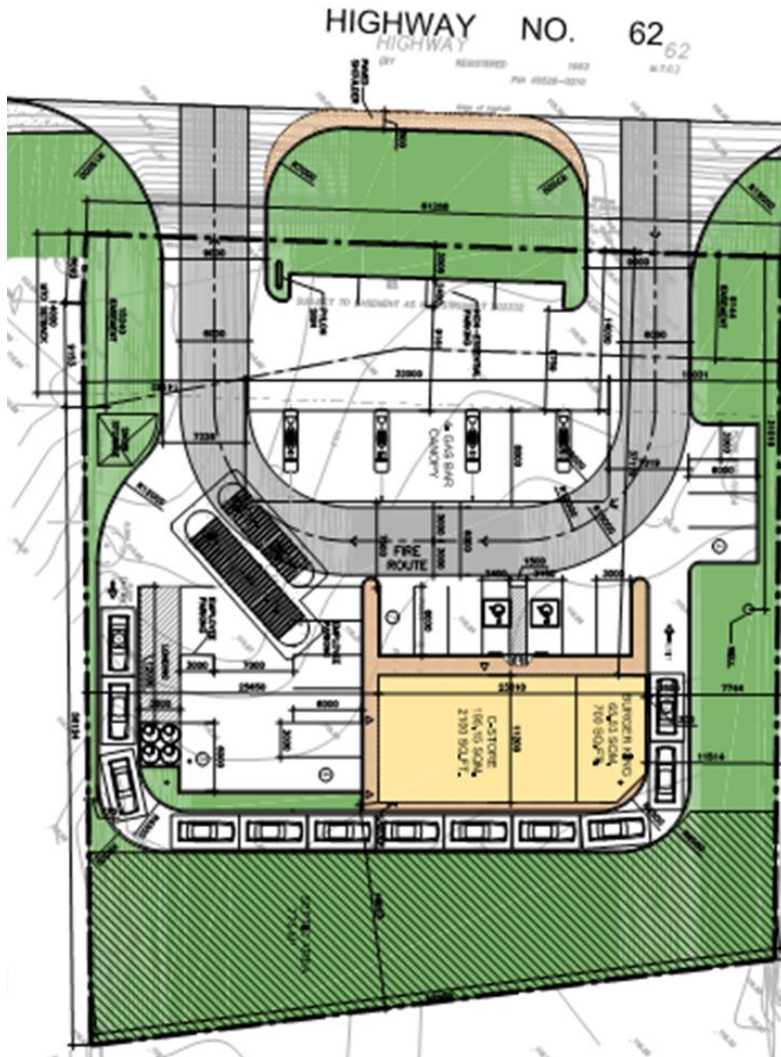
The proposed Zoning By-law Amendment is required to add exception to Special General Commercial-4 (C3-4) Zone under the provisions of Thurlow Zoning By-law (3014), as amended to add eating establishment use including drive-in or take-out for the subject property. No other site-specific development standards are required to facilitate the construction of the proposed buildings.

Figures 3 and 4 below show a Conceptual Site Plan for the development of the subject lands and provides site details. Two (2) access points to the site have been proposed, one along each street frontage. The vehicular circulation is proposed to be internal to the site.

The proposed eating establishment and associated retail buildings have been directed away from Highway 62 to ensure that adequate space exists for drive-through of the eating establishment.

Parking for the site is generally located between the gas bar and the retail and an eating establishment buildings. No exception to the zoning standard is required.

FIGURE 3 –SITE PLAN AND SITE STATISTICS



PROJECT STATISTICS

| | | |
|---|-----------|-----------------------|
| ADDRESS:- 8092 HIGHWAY 62, TOWNSHIP OF THRULOW. | | |
| ZONING : C3-4 | REQUIRED | PROVIDED |
| LOT(SITE) AREA (m ²) | 1500 SQM. | 4051.13 SQM. |
| LOT FRONTAGE | 30 M. | 61.20 M. |
| C-STORE | | 195.15 SQM. (4.81%) |
| BURGER KING | | 65.03 SQM. (1.60%) |
| TOTAL GFA | 50% | 260.18 SQM. (6.41%) |
| LANDSCAPE AREA | | 1452.20 SQM. (35.85%) |

| | | |
|-----------------------------------|----------|----------|
| PARKING CALCULATION | | |
| | REQUIRED | PROVIDED |
| DRIVE-THRU BURGER KING (1@9 SQM.) | 7 CARS | 10 CARS |
| C-STORE (1@28 SQM.) | 6 CARS | 10 CARS |
| TOTAL PARKING | 13 CARS | 20 CARS |

| | | |
|-----------------|---------|----------|
| SETBACK | | |
| | ALLOWED | PROPOSED |
| FRONT YARD WEST | 12 M | 37.17 M |
| REAR YARD EAST | 7.5 M | 18.00 M |
| SIDE YARD NORTH | 6 M | 11.51 M |
| SIDE YARD SOUTH | 6 M | 25.65 M |

4.0 POLICY ANALYSIS

4.1 Provincial Policy Statement

The Provincial Policy Statement (PPS) provides policy direction on matters of provincial interest related to land use planning and development. The PPS sets the policy foundation for regulating the development and use of land.

The key objectives include: building strong communities; wise use and management of resources; and, protecting public health and safety. City Council's planning decisions are required to be consistent with the PPS.

In accordance with Section 1.1.3 of the PSS, new development has been encouraged to locate in Settlement Areas. Specifically, it is stated that:

1.1.3.1 Settlement areas shall be the focus of growth and development, and their vitality and regeneration shall be promoted.

1.1.3.2 Land use patterns within settlement areas shall be based on:

a) densities and a mix of land uses which:

1. efficiently use land and resources;

2. are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;

3. minimize negative impacts to air quality and climate change, and promote energy efficiency;

4. support active transportation;

5. are transit-supportive, where transit is planned, exists or may be developed; and,

6. are freight-supportive; and,

b) a range of uses and opportunities for intensification and redevelopment in accordance with the criteria in policy 1.1.3.3, where this can be accommodated.

1.1.3.3 Planning Authorities shall identify appropriate locations and promote opportunities of intensification and redevelopment where this can be accommodated taking into account existing building stock or areas, including brownfield sites, and the availability of suitable existing or planned infrastructure and public service facilities require to accommodate projected needs.

Intensification and redevelopment shall be directed in accordance with the policies of Section 2: Wise Use and Management of Resources and Section 3: Protecting Public Health and Safety.

1.1.3.4 Appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form while avoiding or mitigating risk to public health and safety.

The proposed development is to occur in a designated Settlement Area, within the City of Belleville. It is intended that the development will contribute to the ongoing growth of the area by providing a highway commercial establishment on the highway 62 in close proximity to both residential and commercial land uses.

Through the proposed zoning by-law amendment will ensure functional site design, safety and efficiency for patrons accessing the site through a range of transportation options and an appropriate transition to the more sensitive land uses (rural residential) to the north.

In this regard and based on the aforementioned review of the relevant policies of the PPS, the proposed land uses are consistent with these policies and is therefore consistent with the vision of the Province and how it has directed new development to occur within its municipalities.

4.2.1 City of Belleville Official Plan (2018)

The subject land is designated "Hamlet" in the City's Official Plan (Schedule A – Land-use Plan Rural Area, See **Figure 4**). These areas include the hamlets known as Foxboro, Point Anne, Plainfield, Latta, Halloway, and Roslin. The subject lands are located in the Foxboro.

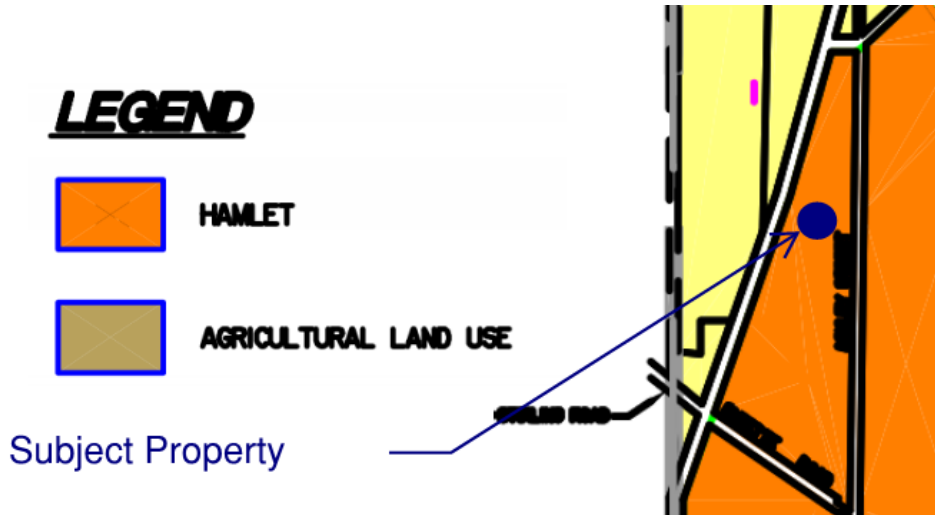
In accordance with sections 3.1.2(c) and 3.1.2 (d):

"Commercial and industrial uses should be compatible with surrounding uses, both existing and proposed, particularly with regard to appearance, traffic generation potential, noise and any other potential nuisance features.

The lot size and shape for new commercial and industrial uses should be appropriate to allow the use and all related accessory uses, adequate ingress and egress, as well as buffering such as fencing, landscaping, and distance separation".

The proposed gas bar, a convenience store and eating establishment will provide necessary services for this automobile traffic. With respect to the site design, ample parking areas and drive aisles have been provided to ensure that vehicular traffic can access and move around the site in a safe and efficient manner and will not have a negative impact on the anticipated pedestrian traffic. The proposal is consistent with the City of Belleville Official Plan (2018).

FIGURE 4 –EXCERPT FROM THE CIY OF BELLEVILLE OFFICIAL PLAN



5.0 Zoning

A Zoning By-Law Amendment application has been submitted to facilitate the proposed development. The subject lands are currently zoned "Special General Commercial-4 (C3-4) Zone, in Map A2 corporation of the Township of Thurlow Comprehensive Zoning By-law no. 3014.

Following policies apply to the subject lands:

OMB File No. R880022

5.13

That part of Lot 17, Concession 4 lying to the north of County Road No. 6 shown as C3-4 on Schedule A5 shall be limited to the use as a real estate sales office only.

(3469) 5.109

Notwithstanding the provisions of Section 6.13.1.1 and 6.13.1.2 to the contrary, on that part of Lots 1 and 2, Concession 6, in the Township of Thurlow shown as C3-4 on Schedule A2 as amended the following special provisions shall apply in addition to all other applicable provisions of this By-law:

5.109.

1 Residential uses permitted: none

5.109.

2 The following non-residential uses WILL NOT be permitted on lands zoned Special General Commercial-4 (C3-4): Assembly halls; place of entertainment or recreation; day nursery; hotel; a private club; or uses currently permitted within the Community Facility (CF) Zone.

The proposed eating establishment use (Burger King) is not permitted under Section 5.180.1.2 of non-residential use. The Application proposes to amend Zoning By-Law 3014 to add eating establishment use within the Special General Commercial-4 (C3-4) Zone. A draft Zoning By-law has been prepared and included with the submission. No site-specific exception is required for the development standards.

FIGURE 4 –EXCERPT FROM THE ZONING BY-LAW



6.0 Site Plan Approval

The proposed development is not currently within a site plan control area. However, in considering a zoning by-law amendment application for these lands staff are recommending that these lands be subject to site plan control. A site plan control application has been submitted.

7.0 Public Consultation Strategy

The Public Engagement Strategy of the City of Belleville is in accordance with the requirements stipulated by the Planning Act. The above-noted applications will have a public engagement strategy in accordance with the City 's public engagement process outlined above.

The City of Belleville undertakes the following public engagement process for all development application:

- Placing an advertisement in the local newspapers to meet the minimum notice requirements of the Planning Act.
- The City uses social media, including Facebook and Twitter, and the City's website for general public notification and consultation for a number of Planning applications.
- The City follows the mandatory requirement of the Planning Act, including mailing out a notice to surrounding property owners.
- The City requires the applicant to post public notice signs on the subject site.

8.0 Built Form Height and Massing

The height and massing are sensitive to the surrounding area, and are appropriate for the site:

- the fuel storage tanks and truck lay-by area would be located to the rear of the property along with the screened mollocks, away from the street edge.
- Accessible parking and bicycle parking are places near the main entrance of the retail store and connected by 1.8 m wide walkway to the main entrance of the building.

- An automatic doors opener will be installed at the main doors of the retail store.

Figure 6 Elevation



9.0 Landscaping

- A site plan control application is submitted with the subject application. Details regarding appropriate plant selection, soil volumes, and pedestrian walkway materials will be addressed during the site plan approval process.
- The design has tried to maximize the landscaped areas, especially along street frontages.
- Additionally, curb returns do not encroach on adjacent properties.
- Sufficient landscaping and planting on the city's boulevard are provided especially at the corner. easement agreement with transportation services will be dealt with through the Site Plan Approval process.

10.0 Conclusion

The proposal is being reviewed against the policies of the PPS (2014) and the City's Official Plan. Following are other reason demonstrating the proposed use is an appropriate use of underutilized vacant land

The appropriateness of the proposed use in this location;

- Negligible traffic impacts of the proposed development;
- The design and built of the proposed use;
- No loss of trees and sufficient amount of landscaping proposed; and
- adequate space available to accommodate internal vehicle movements.

Submitted by:

Katie Pandey, MAES, MCIP RPP

Appendix 1: Draft Zoning By-law

November xx, 2019 Version

THE CORPORATION OF THE CITY OF BELLEVILLE

BY-LAW NUMBER 2019-XX

Being a by-law to amend Zoning By-law 3014 to rezone those lands in *part of Lot 17, Concession 4 lying to the north of County Road No. 6*, City of Belleville

Whereas By-law 3014 is the main comprehensive Zoning By-law of the City of Belleville;

And whereas By-law 3014 zoned as Special General Commercial-4 (C3-4) Zone

And whereas authority is granted under Section 34 and 36 of Planning Act, R.S.O. 1990, c.P.13;

Now, therefore, the Council of The Corporation of the City of Belleville enacts as follows:

1. All provisions of By-law 3014 shall apply to the lands located in *part of Lot 17, Concession 4 lying to the north of County Road No. 6*, as identified on Map A2 of the Township of Thurlow Comprehensive Zoning By-law no. 3014.
2. By-law 2010-50 including Schedule 'B' thereto, is hereby further amended by to add "Eating Establishment" use to the Section 5.180.1.2 of non-residential use

SERVICING & STORMWATER MANAGEMENT REPORT
FOR
PROPOSED GAS STATION AT
8092 HIGHWAY 62
TOWNSHIP OF THRULOW, COUNTY OF HASTING, ONTARIO

March 28, 2019

Prepared by:



n Architecture Inc

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- Appendix G - Stormwater Chamber
- Appendix H – Water Table Map (Courtesy: Bay of Quinte)

1.0 INTRODUCTION

N Architecture Inc. was retained by owner of the property Gurinder Saran (Client) to undertake the servicing and stormwater management preliminary design for the proposed property development. The purpose of this report is to present the storm water management, sanitary sewage disposal, water distribution and appropriate measures to mitigate the impact of storm runoff with the proposed development.

2.0 STUDY AREA

The subject site is located at east of Highway 62 and south of Old Madoc Road as shown in Figure 1.

A legal and topographic survey has been prepared by IBW Surveyors, dated 10th April 2017 which identifies the site as part of Registered Plan of topography of the part of Lot 3, 5, 6, 8 and 9 of 21R-11054 and Concessions 6, Geographic Township of Thrlow, County of Hastings.



Figure 1 - Site Location Plan

3.0 PROPOSED DEVELOPMENT

Site is proposed to develop for a Gas station, a convenience store plus a drive through restaurant building along with new parking lot and loading area.

New buildings ground floor level is proposed at 115.75 m. Existing grades around the site are proposed to be matched at the boundary limits. Proposed site servicing, grading and storm drainage plans are submitted separately as full-size drawings with this report.

4.0 OBJECTIVES OF STORMWATER DRAINAGE AND SITE SERVICING

Potential stormwater management (SWM) strategies to mitigate any potential impacts per design guidelines are presented in the report by studying following:

- Identifying existing runoff pattern and quantity of runoff discharge from proposed development area;
- Identifying post-development runoff from the site towards the existing Ministry of Transportation right of way;
- Evaluate the impact of development on existing road side ditches and culverts;
- Address the concerns from the reviewing agency including Ministry of Transportation, City of Belleville and Ministry of Environment, Conservations and Parks;
- New site servicing requirements for sanitary and water supply will also be discussed in the following sections.



Figure 2 - Site Existing Condition

5.0 EXISTING TOPOGRAPHY AND DRAINAGE PATTERN

The total site has approximately 0.40 ha area, with land covered with grass as shown in Figure 2. The topographical survey (Refer: Topographical Map, Appendix A) indicates that the site is sloped from north-east towards south-west. Highest elevation at north-east corner of the property is 116.20 goes down at 113.93 at south-west corner at a slope of 2.3% approximately.

Topographical Survey conducted by IBW Surveying indicates that the watershed is almost confined within the boundary. Surface runoff flow direction along the slope towards the

existing ditch on MTO's right-of-way. Existing drainage pattern presented in Figure DR 101 in Appendix A.

North property limit is divided by a ditch separating the watershed of the site and east property limit. This ditch sloped along the boundary line towards west and flow of stormwater from adjacent property directs toward the ditch along Highway 62. South limit of the site is separated from adjacent property as presented in topographic survey map shows most the overland flow directs towards the ditch along Highway 62. Considering existing drainage pattern total flow from the site will be considered as pre-development discharge to existing ditch.

6.0 STORMWATER MANAGEMENT CRITERIA

Stormwater Management Criteria for proposed development site determined based on following guidelines and manuals:

- Ministry of Transportation and Stormwater Management Planning and Design Manual, MOE, 2003;
- Stormwater Management Requirements for Land Development Proposals -Ministry of Transportation Ontario;
- The corporation of the city of Belleville site plan guidelines, January 31, 2005;
- Quinte Regional Groundwater Study – by Dillon Consulting Limited & Others – October 2004

The criteria for proposed development are summarized below:

- **Water Quantity Control** - Maximum peak flow rates must not exceed pre-development values for storms with return periods ranging from 2 to 100 years (*MOE 2003 -Section 3.5.1 & Table 7 – Online Stormwater Management Requirement by MTO*);
- **Water Quality Control** –Stormwater discharged from the post development site are required to meet a minimum 80% TSS removal or an enhanced (Level 1) removal as referenced in the MOE SWMPD Manual;
- **Roof Top Storage** – No roof-top detention will propose;
- **Orifice Pipe** – As per MTO's guideline, a short segment of storm sewer, equal to the diameter of the required orifice will be provided at the inlet of proposed Oil and Grit Separator;
- **Impact of Storm water Storage Tank:** Detention Storage Tank cannot have adverse impact on highway;
- **Erosion and Sediment Control During Construction** - The erosion potential of the study area to assessed using methods described in the "MTO Drainage Management Manual" of temporary erosion and sediment control measures suitable for construction sites close to highways.

7.0 STORMWATER MANAGEMNET STUDY

7.1 Comparison Existing Land Use and Proposed Conditions

Land-use under the proposed development was compared to land-use under existing conditions to assess the changes in runoff flows on the site. The comparison presented in Table 1. As revealed from the Table 1, there will be an overall 64% increase in imperviousness under the proposed development condition in contrast of about 64% decrease in grass area.

Table 1 – Comparison between Existing and Proposed Condition Land Use

| LANS USE TYPE | PAVED AREA | ROOF AREA | GRASS AREA | TOTAL AREA |
|--------------------------------------|------------|-----------|------------|------------|
| Existing Condition (m ²) | 0.00 | 0.00 | 4051.13 | 4051.13 |
| Existing Condition (%) | 0% | 0% | 100.0% | |
| Proposed Condition (m ²) | 2338.76 | 260.17 | 1452.2 | 4051.13 |
| Proposed Condition (%) | 58% | 6% | 36% | |
| Increase/Decrease (%) | 58% | 6% | (64%) | |

7.2 Runoff Coefficients

Runoff parameters used for site under existing and proposed conditions are shown in Table 2 below, can be found in the MTO Drainage Management Manual Design Chart 1.07.

Table 2 – Runoff Coefficients (MTO)

| Land Use | Runoff Coefficient |
|-------------------------------------|--------------------|
| Open Space <7% Slope | 0.25 |
| Gravel Area <7% Slope | 0.60 |
| Impervious Area (Asphalt, Concrete) | 0.90 |
| Impervious Area (Roof Area) | 0.95 |

Pre-development composite runoff coefficients are calculated based on existing land use and presented in Appendix 2 (Calculation Sheet 1). Post development catchment area is shown in DR 102 in Appendix A. Calculations for pre-and post-development imperviousness are given in Appendix B and summarized below:

Table 3 – Composite Runoff Coefficients

| Drainage Area | Runoff coefficient 'C' (Pre-development) | Runoff coefficient 'C' (Post-development) |
|---------------|---|--|
| SITE | 0.25 | 0.70 |

7.3 Peak Flow Rates

Given the size and characteristics of the site and catchment areas, the Rational Formula was used to determine the peak flows from the subject site under pre-development and post-development conditions. The rainfall-runoff relationship is as follows:

$$Q = 0.00278CIA$$

Where:

Q = Peak Flow in m³/s;

A = Effective area of drainage basin in hectares (ha);

C = runoff coefficient; and

I = Rainfall intensity in mm/hr.

The runoff coefficient value (C) is determined based on the soil type, land use, and the antecedent moisture related to the condition of the catchment. The scenarios in which a catchment has more than one land use or soil type, a representative runoff coefficient is determined using areas of the different land cover as weighting factor.

Rainfall intensities were calculated using the rainfall intensity-duration-frequency (IDF) values for the location coordinate of proposed site. The IDF values were obtained from the Ministry of Transportation "IDF Curve Lookup" and are summarized in Table 3 below.

Table 4 – IDF Parameters

| IDF PARAMETERS | 2 Years | 5 Years | 10 Years | 25 Years | 50 Years | 100 Years |
|----------------|---------|---------|----------|----------|----------|-----------|
| A | 21.0 | 27.9 | 32.4 | 38.0 | 42.2 | 46.4 |
| B | -0.699 | -0.699 | -0.699 | -0.699 | -0.699 | -0.699 |

7.4 Pre-development Peak Flow

Pre-development peak flows are calculated based on existing land use and presented in Calculation Sheet 1, Appendix B. The results are summarized in Table 5.

Table 5 – Pre-development Peak Flow

| 2 Years | 5 Years | 10 Years | 25 Years | 50 Years | 100 Years |
|---------|---------|----------|----------|----------|-----------|
| 13.01 | 17.29 | 20.08 | 23.55 | 26.15 | 28.75 |

(Unit of measurement L/sec)

7.5 Post-development Proposed Drainage Pattern and Peak Runoff Flow Rate

The proposed site enclosed a mix of paved and grassy areas as well as buildings. Proposed site grades were selected to ensure vehicular access was unimpeded as well as to provide a surface storage for rainfall events. Site elevations were raised at the south-west side to ensure confinement of stormwater inside and protect the highway from stormwater flow of the site. To

tie into the existing grading at the south and west side of boundary, armour stone low height retaining wall will be required.

For the proposed development condition, the side is divided in four sub-catchments as shown in Figure DR 102 (Appendix A). Runoff from these sub-catchments will flow through proposed inlets as presented in Site Servicing Plan (Drawing C2).

Post-development peak flow are calculated and presented Calculation Sheet 2, Appendix B. The results are summarized in Table 6.

Table 6 – Post-development Peak Flow

| 2 Years | 5 Years | 10 Years | 25 Years | 50 Years | 100 Years |
|---------|---------|----------|----------|----------|-----------|
| 135.50 | 180.03 | 209.06 | 245.20 | 272.30 | 299.40 |

(Unit of measurement L/sec)

7.6 Comparison of Existing and Proposed Runoff Rates

Flow rates under different storm events were calculated for both existing and proposed conditions using the Rational Method. Catchment areas and hydrologic parameters were determined using the available land use information and topographic maps (as shown in Figures DR 101 and DR 102 in Appendix A).

The primary goal of the drainage and hydrologic analysis is to examine the effect of the development on local storm drainage. This analysis was used to create goals for the stormwater management design. Table 7 presents the peak flow rates comparison for both existing and proposed conditions calculated for the entire site under, while the detailed flow calculations and are presented in Appendix B. It should be noted that the post-development flows in Tables 6 and 7 are to address the impact of the development only, and do not represent the final stormwater management design flows.

Table 7 – Comparison between Existing and Post-development Flow

| CODITIONS/FLOW (L/SEC) | 2 Years | 5 Years | 10 Years | 25 Years | 50 Years | 100 Years |
|------------------------|---------|---------|----------|----------|----------|-----------|
| PRE-DEVELOPMENT | 13.01 | 17.29 | 20.08 | 23.55 | 26.15 | 28.75 |
| POST-DEVELOPMENT | 135.50 | 180.03 | 209.06 | 245.20 | 272.30 | 299.40 |
| INCREASE(DESCREASE) | 122.49 | 162.74 | 188.98 | 221.65 | 246.15 | 270.65 |

7.7 Quantity Control Measure

7.7.1 Orifice (Reduced Size Pipe) Control

The runoff from the site proposed to control with the help of a reduced size pipe (1.0 meter long 75 mm diameter pipe) installed at inlet of Storm Manhole No. 1 (MH1). Orifice Sizing Calculations presented as Table 1 in Appendix D.

7.7.2 Storage for Quantity Control

Required detention storage calculated based on controlled flow and presented in Appendix D (Table 3.1 – 3.6). Allowable discharge rate, controlled flow rate and required detention storage summarized in Table 8.

For the 100 year design storm event, the proposed controlled flow requires a total of 78.04m³ Storage. 8.85m³ of in-pipe/MH and 25.4m³ storage is available. Total storage available as surface storage and in-pipe/MH storage is 34.25m³. Hence, 43.79 m³ of additional surface storage will be required.

This required storage will be achieved through temporary surface storage at catch basin CB1 Location. The location, shape and proposed grading of the temporary surface storage is shown in Drawing C2 (Figure 1).A. This temporary surface storage has been sized with varying slope including a 1.5% slope for a smaller length. The 100 year ponding high water level will be kept at an elevation of 115.17 m having a maximum depth of storage of 0.22 m.

Table 8 – Controlled Flow and Detention Storage

| | 2 Years | 5 Years | 10 Years | 25 Years | 50 Years | 100 Years |
|---------------------------------|--------------|--------------|--------------|--------------|--------------|--------------|
| ALLOWABLE FLOW (L/SEC) | 13.01 | 17.29 | 20.08 | 23.55 | 26.15 | 28.75 |
| CONTROLLED FLOW (L/SEC) | 13.00 | 15.85 | 15.85 | 15.85 | 15.85 | 15.85 |
| STORAGE REQUIRED (L/SEC) | 27.54 | 37.97 | 47.55 | 59.08 | 68.64 | 78.04 |

7.7.3 Stormwater Chamber Storage for Quantity Control

As described in section 7.2.1 – total detention storage required based on 100 years rainfall event will be the maximum storage to be provided for the proposed development. However from surface storage including storage in pipes and MH/CB will provide total 34.25 m³.

To provide additional storage a Stormwater Chamber (Triton Model M-6) is recommended to install at the south-east side of the property. Sizing details provided in Appendix G.

Summary of on-side storage is as follows:

- | | |
|-----------------------------------|---|
| (a) Storage in pipe and manholes: | 8.85 m ³ . |
| (b) Parking Lot Ponding: | 25.4 m ³ . (Refer: Drawing C1) |
| (c) Stormwater Chamber: | 47.0 m ³ . |
| (d) Total Storage proposed: | 81.26 m ³ |
| (e) Storage Required: | 78.62 m ³ |

Available storage is more than required storage.

7.7.4 Impact of Stormwater Chamber Storage on Highway 62

A Stormwater Chamber for water detention proposed to install at 38.0 m away from the edge of the pavement of Highway 62 as stated in section 7.7.3. The elevation of the chamber's bed proposed at 113.80. As per Quinte Groundwater Study Report (October 2004) the ground water elevation approximately around an elevation of 110.0. That makes the bed elevation around 4.0 higher than the ground water level.

City of Belleville Water Table Map – Bel-1(Refer: Appendix H) indicates that the groundwater flow east-south direction towards the low water table area of the water body. It is safe to conclude according to the study that the proposed Stormwater Chamber will have no adverse impact on the base of highway 62.

7.7.5 Stormwater Chamber Maintenance Recommendations

Following steps are recommended to be taken by owner/renter of the developed property:

1. Owner or renter should ensure inception of installed Stormwater chamber (Triton MODEL M-6) regularly to ensure performance is maintained to the manufacturer's specifications for performance and to ensure the sediment levels do not exceed the level of half full;
2. All installed components to be inspected each 3 months, or adjusted to suit use (but not less than once per year);
3. Owner or renter of the developed property to enter into a service & maintenance agreement for installed Stormwater Chamber (MODEL M-6) with Certified Maintenance Operator to clean sediment at least once annually ;
4. All documentation of inspection, clean-out, and sediment disposal shall be retained for a minimum of two years as proof for inspections purpose;
5. In case of failure to adequately maintain the Stormwater Chamber to the satisfaction of the authority, the authority may require an alarmed monitoring device to be installed, at the expense of the owner.

Triton Stormwater Solutions - O&M Manual attached in Appendix G.

7.8 Impact of Stormwater Discharge on Existing Culvert and Ditch

Stormwater from the site will discharge to the ditch on MTO right of way along Highway 62 (Refer: Site Servicing Drawing C2). The post development flow proposed to control under pre-development flow to reduce the rate of discharge. The maximum calculated post development discharge rate for 100 years rainfall event – 299.40 L/sec will control at 15.85 L/sec (approximately 5%). Therefore proposed development will have no adverse impact on existing ditch.

Existing 400 mm diameter Steel culvert recommended to removed and replace with two 12.0 meter 450 mm dia. CSP culverts across proposed entrance. The inlet and outlet of proposed culverts to be matched with existing slope and grading to ensure the existing flow pattern in the ditch remain same after development of the site.

7.9 Water Quality Control

Long term average removal of 80% of Total Suspended Solids (TSS) on an annual basis all runoff leaving the site is required. Quality control will be achieved by using soft landscape areas and oil/grit separator. Oil/grit separator's overall TSS removal from runoff leaving the site is will be 53.1. The overall TSS removal is 95.4%. The summary of total TSS removal from all LID BMP's as shown in Table 9 below:

Table 9– TSS removal from all LID BMP

| Surface | Treatment Method | Area (ha) | Effective TSS Removal | % Area of Site | Overall TSS Removal (%) |
|---------------------------|--------------------|-----------------|-----------------------|----------------|-------------------------|
| Landscape | Inherent | 0.14522 | 100 | 35.8 | 35.8 |
| Rooftop | Inherent | 0.026017 | 100 | 6.4 | 6.4 |
| Asphalt/Concrete Pavement | Oil/Grit Separator | 0.233876 | 92 | 57.7 | 53.1 |
| Total | | 0.405113 | - | 100.0 | 95.4 |

7.10 Erosion and Sediment Control during Construction

The erosion potential of the study area was assessed using methods described in the “MTO Drainage Management Manual” of temporary erosion and sediment control measures suitable for construction sites close to highways.

During Site construction, various temporary measures will be implemented to prevent the discharge of sediment laden Stormwater from the Site. These measures include silt fencing, catch basin buffers and mud-mats.

In addition to the above, the following “good housekeeping” measures are recommended:

- All exposed soil shall be stabilized as soon as possible with a seed and mulch application as directed by the Engineer.
- No construction activity or machinery shall intrude beyond the silt/snow fence or limit of construction area. All construction vehicles shall leave the site at designated locations as shown on the plans.
- Stockpiles of soil shall be set back from any watercourse and stabilized against erosion as soon as possible. A set back of at least 15m from any top-of-bank, watercourse or pond is required.

- Cleaning and repairs of mud-mats and any other temporary sediment control measures shall be completed as deemed necessary through regular inspection.
- Sediment/silt shall be removed from the sediment control devices after storm events and deposited in areas as approved by the engineer.
- All re-graded areas within the development which are not occupied by buildings, roadways, sidewalks, or driveways shall be top-soiled and sodded/seeded immediately after completion of final grading operations as directed by the engineer.

8.0 MINOR SYSTEM DRAINAGE

Minor storm drainage (2-year storm event) is designed to convey stormwater to existing storm sewer (Refer: Drawing C2). Storm Sewer Design sheet attached at Appendix C.

9.0 MAJOR SYSTEM DRAINAGE

The overland flow will not impact the building since the grading of the site ensures storm flows greater than 100 years will be able to flow overland through the site without any impact to proposed buildings and adjacent site. Overland flow direction shown in Grading Plan (Drawing C1).

10.0 WATER DEMAND

Water demand the proposed site is calculated as follows:

For convenience store:

According to Engineering Design Standard Specification average demand at a service station is 450 l /capita/ day

| | |
|--------------------------------------|--|
| Number of employees at 8-hour shifts | = 1 |
| Number of shifts | = 3 / day |
| Water consumption | = 450 x 1 x 3 = 1350 l / day = 0.016 l / s |

As per MOECC standards, a Maximum Day Factor of 2.0 and peak hourly demand Factor of 4.5 will be applied to the average day flows;

Maximum day demand = 0.016 l/s x 2.0 = 0.032 l/s
 Maximum hour demand (AM) = 0.016 l/s x 4.5 = **0.072 l/s**

For Restaurant:

As per MOECC Guidelines for Drinking Water Systems design Consideration:

| | |
|--|--|
| Average Water Demand for the Restaurant; | |
| Drive-in restaurant per parking space | 60 L/day |
| Parking Space for the Restaurant: | 12 |
| Average Water Demand: | $60 \times 12 / 86400 = 0.008 \text{ L/sec}$ |

As per MOECC standards, a Maximum Day Factor of 2.0 and peak hourly demand Factor of 4.5 will be applied to the average day flows;

Maximum day demand = $0.008 \text{ l/s} \times 2.0 = 0.016 \text{ l/s}$

Maximum hour demand = $0.008 \text{ l/s} \times 4.5 = \mathbf{0.036 \text{ l/s}}$

Fire Flow Demand:

As per Fire Underwriter Survey, Fire flow demand calculated as presented as Table 6, Appendix F.

Required Fire Flow: **50 L/Sec**

Design Fire Flow Duration: 1.0 hr.

Require Fire water storage required: 180.0 m^3

Water well proposed to install with water supply system along with a fire water storage tank.

11.0 SANITARY

A Septic System design for the proposed development site has done by Gunnell Engineering Ltd. (Oct 3rd, 2018). Proposed septic system will be connected as show in Drawing C2. The Septic Design Report is presented with this report for reference.

12.0 SERVICE CONNECTIONS**12.1 Sanitary:**

A sanitary sewer service system for the site was also designed by Gunnell Engineering Ltd. and presented in Drawing C2.

12.2 Domestic / Fire Water

A private water supply system with storage is recommended to design and install for the proposed development site. Approximate tank size and location is show on Drawing C2.

13.0 SUMMARY & CONCLUSIONS

This analysis presents a detailed stormwater management control plan addressing both quantity and

quality controls required to meet all design criteria. Drainage boundaries have been established to

estimate flows to the proposed drainage collection system for the site in order to develop a comprehensive drainage and stormwater management plan for the proposed development.

There will be no negative impact or increase in stormwater peak flows under proposed controlled conditions.

The drainage summary of our findings and drainage analysis for the subject property is as follows:

- The hydrologic and hydraulic analysis presented in this report addresses the existing and proposed site conditions;
- External agencies' criteria were collected and reviewed during the course of the study and all other available information was retrieved and reviewed;
- Impervious areas were calculated under both existing and proposed conditions and a significant increase in impervious areas was found;
- Stormwater management design was performed for the subject site to provide flow quantity and quality control;
- Preliminary design was performed for the proposed storm sewer network to convey the minor system runoff;
- Recommended quantity control measures for the site are achieved through the use of a 100 mm 1 m long 100 mm diameter orifice pipe;
- Adequate stormwater runoff storage for large design storms is achieved through temporary surface storage;
- An Oil/Grit Separator of model Stormceptor EF04 is recommended to use to ensure the water quality control;
- These measures will provide the necessary quantity and quality control to meet the criteria provided by the City of Belleville and Ministry of Transportation and Ministry of Environment.

We trust that this proposed stormwater management plan will provide appropriate service to the proposed site.

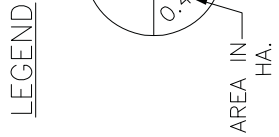
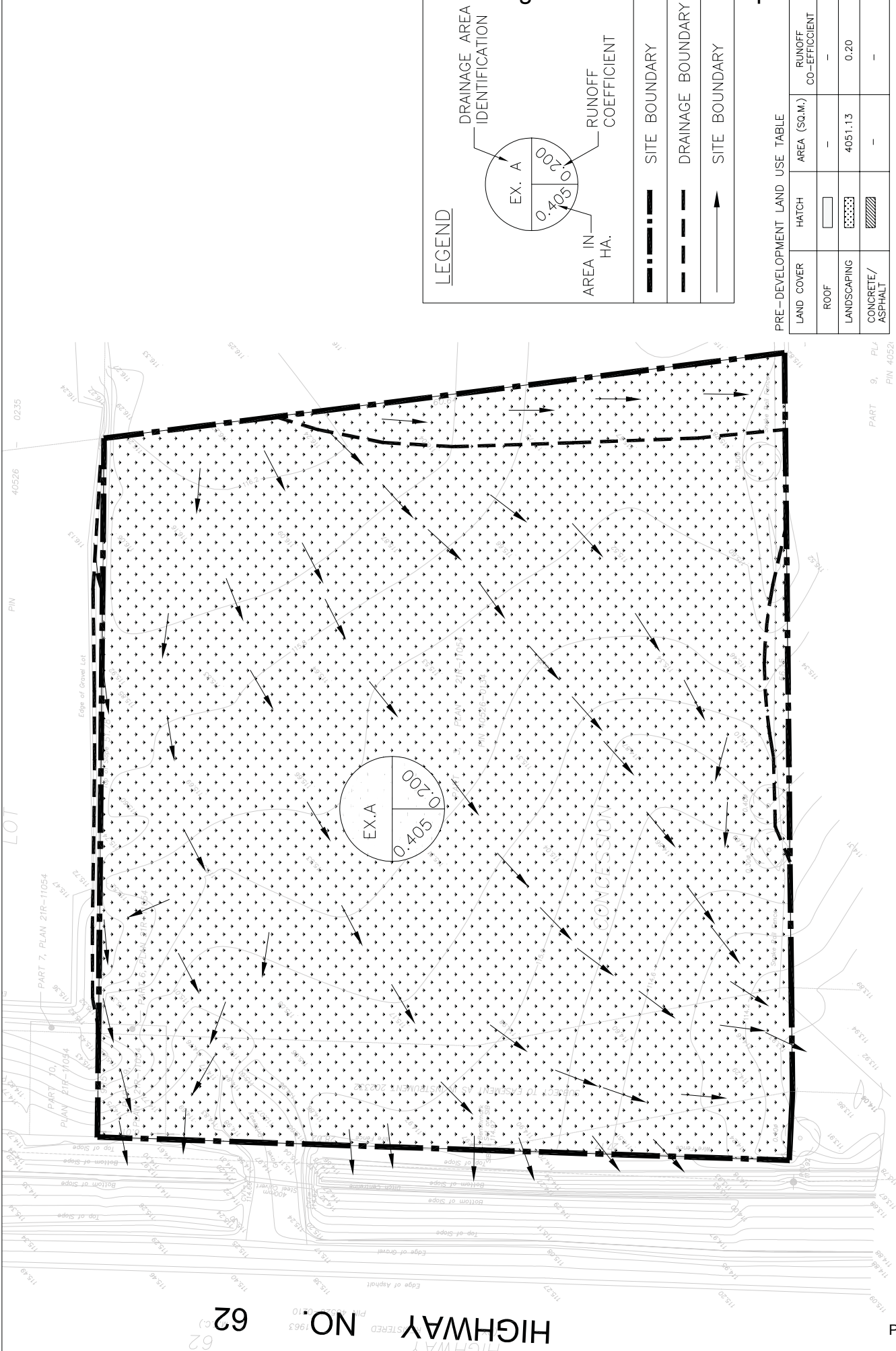
Respectfully Submitted,

n Architecture Inc.



Abu. S. Ziauddin P. Eng.
MUNICIPAL ENGINEER

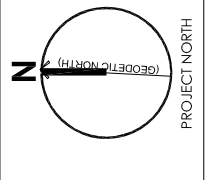
Appendix A
Pre & Post Development
Land-use Map



- SITE BOUNDARY
- - - DRAINAGE BOUNDARY
- SITE BOUNDARY

PRE-DEVELOPMENT LAND USE TABLE

| LAND COVER | HATCH | AREA (SQ.M.) | RUNOFF CO-EFFICIENT |
|-------------------|-----------------|--------------|---------------------|
| ROOF | [Hatch pattern] | - | - |
| LANDSCAPING | [Hatch pattern] | 4051.13 | 0.20 |
| CONCRETE/ ASPHALT | [Hatch pattern] | - | - |



DATE: 02 NOV. 2018
 SCALE: NTS
 DRAWING NO.: **DR-101**

DRAWN BY: AZ
 CHECKED BY: AZ
 PROJECT NO.: **17-13**

DRAWING TITLE:
**PRE-DEVELOPMENT
 SITE DRAINAGE PLAN**

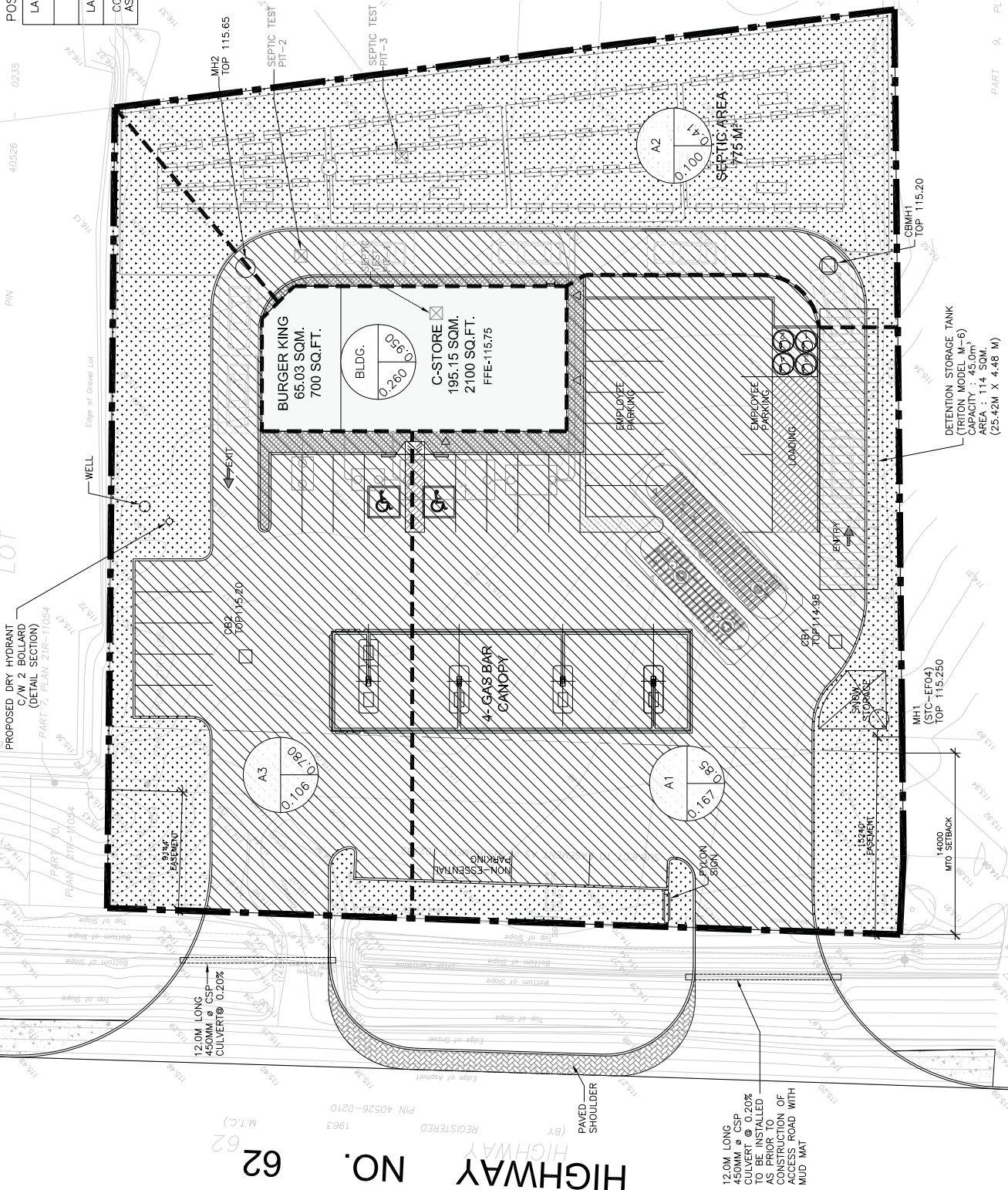
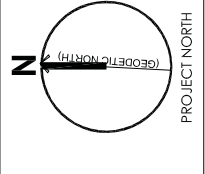
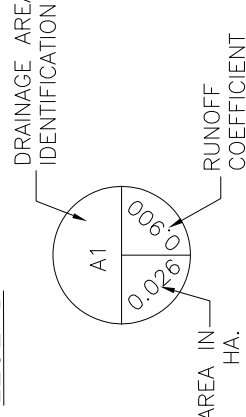
PROJECT:
**GAS STATION
 8092 HIGHWAY 62
 TOWNSHIP OF THRULOW
 COUNTY OF HASTINGS**

n Architecture Inc
 9120 HWY 62, UNIT 100, THRULOW, ONTARIO L4R 3J9
 T: 416.503.4827 F: 416.503.5266
 WWW.NARCHITECTURE.COM

POST-DEVELOPMENT LAND USE TABLE

| LAND COVER | HATCH | AREA (SQ.M.) | RUNOFF CO-EFFICIENT |
|-------------------|-----------------|--------------|---------------------|
| ROOF | [Hatch Pattern] | 260.17 | 0.90 |
| LANDSCAPING | [Hatch Pattern] | 1452.20 | 0.20 |
| CONCRETE/ ASPHALT | [Hatch Pattern] | 2338.76 | 0.90 |

LEGEND



| | |
|----------------|--------------------|
| DRAWN BY: AZ | DATE: 02 NOV. 2018 |
| CHECKED BY: AZ | SCALE: NTS |
| PROJECT NO.: | DRAWING NO.: |
| 17-13 | DR-102 |

DRAWING TITLE:
**POST-DEVELOPMENT
 SITE DRAINAGE PLAN**

PROJECT:
**GAS STATION
 8092 HIGHWAY 62
 TOWNSHIP OF THRULOW
 COUNTY OF HASTINGS**

Page 74

n Architecture Inc
 9120 HWY 104/STATION RD. SUITE 108
 RICHMOND HILL, ONTARIO, L4B 3J9
 T: 905.887.1111 F: 905.887.1112
 WWW.NARCHITECTURE.COM



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 SKETCH SHOWING
 TOPOGRAPHIC DETAIL OF
8092 HIGHWAY 62
 GEOGRAPHIC TOWNSHIP OF THURLOW
 CITY OF BELLEVILLE

SCALE 1 : 250 METRES
 IVAN B. WALLACE O.L.S. LTD.

- LEGEND**
- denotes Anchor Point
 - denotes Utility Pole
 - denotes Overhead Utility Wires
 - denotes Well Cap Elevation at Top Centre
 - denotes Coniferous Tree w/Trunk Diameter
 - denotes Deciduous Tree w/Trunk Diameter
 - denotes Spot Elevation

CAUTION
 This is not a plan of survey and shall not be used except for the purpose indicated in the title block.

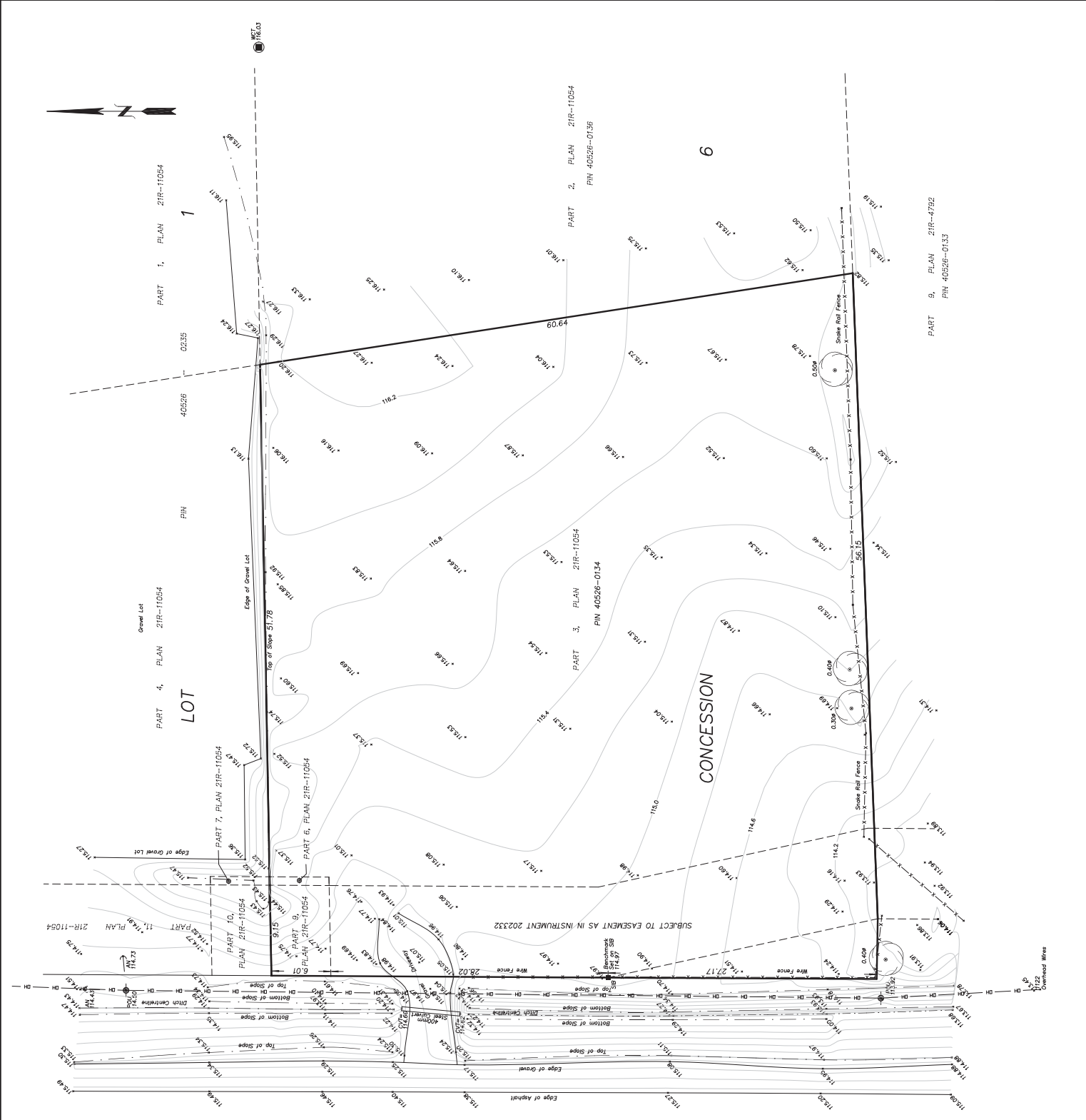
ELEVATIONS
 Elevations are geodetic and referred to the Canadian Geodetic Vertical Datum (CGVD28) by direct measurement to a Real Time Network.

CONTOURS
 Contours shown herein are drawn at 0.20 metre intervals.

DISTANCE NOTES — METRIC
 Distances are in metres and can be converted to feet by dividing by 0.3048.



1503 HIGHWAY 62, THURLOW, ONTARIO L0R 2R0
 519-826-8885
 I.B. WALLACE, P. ENG. 10000
 I.B. WALLACE, P. ENG. 10000
 I.B. WALLACE, P. ENG. 10000



Appendix B
Pre & Post Development
Flow Analysis

Calculation Sheet 1



| | |
|--|--------------------------------------|
| Project: | Foxboro Gas |
| Address: | 8092 Highway 62 |
| Town/Township/City | Township of ThruLOW, Hastings |
| Project No. | n 1713 |
| Proposed Development Area (m²) | 4051.13 |
| Date: | 3/28/2019 |

PRE-DEVELOPMENT RUNOFF COEFFICIENT

| AREA TYPE | AREA (M ²) | RUNOFF COEFFICIENT "C" | AREA x C |
|----------------------|------------------------|------------------------|-------------|
| ASPHALT/CONC. | 0.000 | 0.90 | 0.00 |
| BUILDING | 0.000 | 0.95 | 0.00 |
| LANDSCAPED AREA | 4051.130 | 0.25 | 1012.78 |
| ΣAREA X C | | | 1012.78 |
| WEIGHTED AVERAGE "C" | | | 0.25 |
| AREA "A" (Hectares) | | | 0.4051 |

Rainfall intensity:

$$I = At^B$$

Where:

I = Rainfall Intensity (mm/hr)

A = coefficient

B = coefficient

t = Time of concentration (min) 19.41

(Refer: Calculation Sheet 3, Appendix B)

Design Flow:

$$Q = 0.00278 CIA$$

Where:

Q = Flow (m³/second)

C = Runoff coefficient

A = Drainage Area (hectares)

I = Average rainfall intensity (millimeters/hour)

| Return | 2 -Years | 5 -Years | 10 -Years | 25 -Years | 50 -Years | 100 -Years |
|-------------------------|--------------|----------|-----------|-----------|-----------|------------|
| A | 21.00 | 27.90 | 32.40 | 38.00 | 42.20 | 46.40 |
| B | -0.699 | -0.699 | -0.699 | -0.699 | -0.699 | -0.699 |
| t (mins) | 19.41 | 19.41 | 19.41 | 19.41 | 19.41 | 19.41 |
| I (mm/hr) | 46.22 | 61.41 | 71.31 | 83.64 | 92.88 | 102.13 |
| C | 0.25 | 0.25 | 0.25 | 0.25 | 0.25 | 0.25 |
| Q (m ³ /sec) | 0.01 | 0.02 | 0.02 | 0.02 | 0.03 | 0.03 |
| Q (l/sec) | 13.01 | 17.29 | 20.08 | 23.55 | 26.15 | 28.75 |

Variables are from MTO IDF curve attached in Appendix B

Calculation Sheet 2



| | |
|--|--------------------------------------|
| Project: | Foxboro Gas |
| Address: | 8092 Highway 62 |
| Town/Township/City | Township of ThruLOW, Hastings |
| Project No. | n 1713 |
| Proposed Development Area (m²) | 4051.13 |
| Date: | 3/28/2019 |

POST DEVELOPMENT RUNOFF COEFFICIENT

| AREA TYPE | AREA (M ²) | RUNOFF COEFFICIENT "C" | AREA x C |
|----------------------|------------------------|------------------------------|-------------|
| ASPHALT/CONC. | 2338.760 | 0.95 | 2221.82 |
| BUILDING | 260.170 | 0.95 | 247.16 |
| LANDSCAPED AREA | 1452.200 | 0.25 | 363.05 |
| Σ AREA X C | | | 2832.03 |
| WEIGHTED AVERAGE "C" | | | 0.70 |
| AREA "A" (Hectares) | | | 0.4051 |

Rainfall intensity calculated as per MTO IDF Curve for the Location:

$$I = At^B$$

Where:

I = Rainfall Intensity (mm/hr)

A = coefficient

B = coefficient

t = Time of concentration (min) 2.99 (Refer: Calculation Sheet 3, Appendix B)

Design Flow:

$$Q = 0.00278 CIA$$

Where:

Q = Flow (m³/second)

C = Runoff coefficient

A = Drainage Area (hectares)

I = Average rainfall intensity (millimeters/hour)

| Return Period (Years) | 2 -Years | 5 -Years | 10 -Years | 25 -Years | 50 -Years | 100 -Years |
|-----------------------------|---------------|----------|-----------|-----------|-----------|------------|
| A | 21.00 | 27.90 | 32.40 | 38.00 | 42.20 | 46.40 |
| B | -0.699 | -0.699 | -0.699 | -0.699 | -0.699 | -0.699 |
| t (mins) | 2.99 | 2.99 | 2.99 | 2.99 | 2.99 | 2.99 |
| I (mm/hr) | 170.88 | 227.03 | 263.64 | 309.21 | 343.39 | 377.56 |
| C | 0.70 | 0.70 | 0.70 | 0.70 | 0.70 | 0.70 |
| Q (m ³ /sec) | 0.14 | 0.18 | 0.21 | 0.25 | 0.27 | 0.30 |
| Q (l/sec) | 135.50 | 180.03 | 209.06 | 245.20 | 272.30 | 299.40 |

Variables are from MTO IDF curve attached in Appendix B

Calculation Sheet: 3
TIME OF CONCENTRATION



Time of Concentration [Tc]

Bransby Equation (for C > 0.40)

$$T_c = \frac{0.057L}{S^{0.2} A^{0.1}}$$

Where:

Tc = time of concentration, minutes

C = Rational method runoff coefficient

L = catchment or watershed length, m

Sw = catchment or watershed slope, %

A = catchment or watershed area, ha

Ref: MTO Drainage Management Manual, 1997 :: Page 4.15

Airport Equation (for C <0.4)

$$T_c = \frac{3.26(1.1 - C)L^{0.5}}{S_w^{0.33}}$$

Where:

Tc = time of concentration, minutes

C = Rational method runoff coefficient

L = catchment or watershed length, m

Sw = catchment or watershed slope, %

A = catchment or watershed area, ha

Pre-Development [Tc]

| | |
|--|--------------|
| Length [L] in m = | 85.00 |
| Slope [S] in % = | 2.30 |
| Area [A] in Ha = | 0.41 |
| Rational Method Runoff Coefficient C = | 0.25 |
| Pre-Dev [Tc] in min = | 19.41 |

Post-Development [Tc]

| | |
|--|-------------|
| Length [L] in m = | 56.00 |
| Slope [S] in % = | 2.18 |
| Rational Method Runoff Coefficient C = | 0.70 |
| Area [A] in Ha = | 0.41 |
| Post-Dev [Tc] in min = | 2.99 |

Active coordinate

44° 15' 15" N, 77° 26' 15" W (44.254167,-77.437500)

Retrieved: Thu, 24 Jan 2019 16:45:20 GMT



Location summary

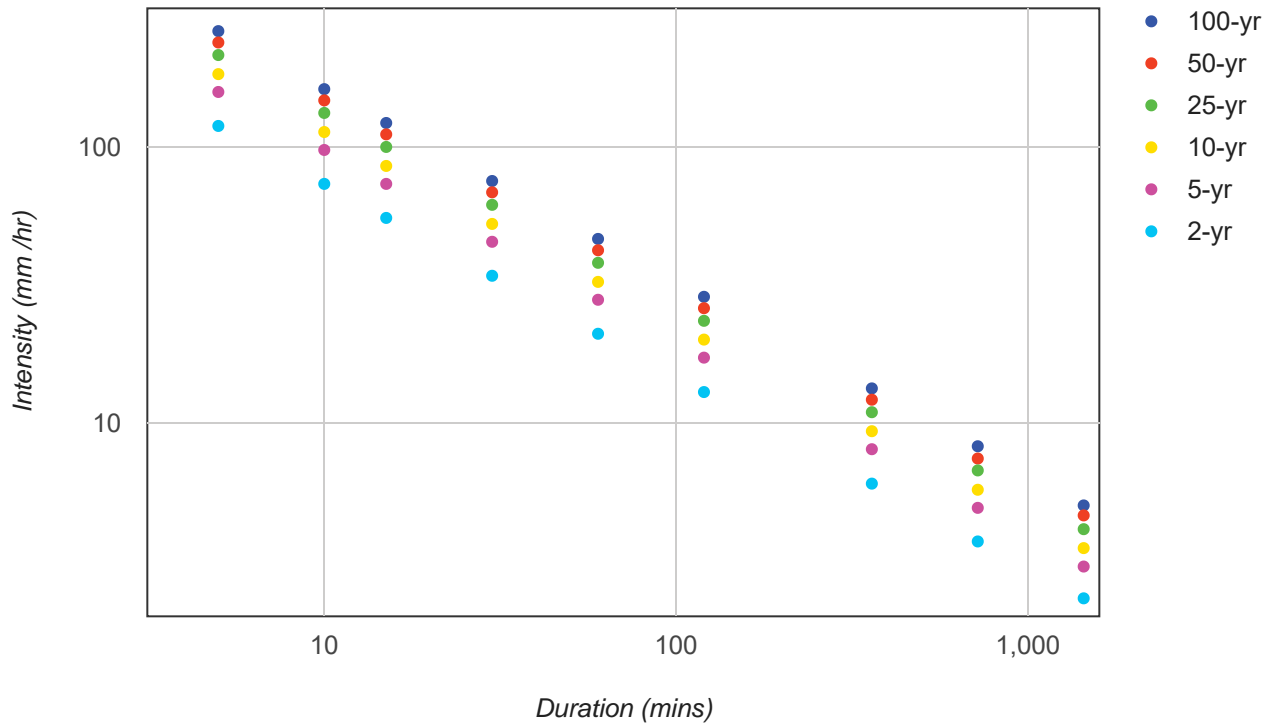
These are the locations in the selection.

IDF Curve: 44° 15' 15" N, 77° 26' 15" W (44.254167,-77.437500)

Results

An IDF curve was found.

Coordinate: 44.254167, -77.437500
IDF curve year: 2010



Coefficient summary

IDF Curve: 44° 15' 15" N, 77° 26' 15" W (44.254167,-77.437500)

Retrieved: Thu, 24 Jan 2019 16:45:20 GMT

Data year: 2010

IDF curve year: 2010

| Return period | 2-yr | 5-yr | 10-yr | 25-yr | 50-yr | 100-yr |
|---------------|--------|--------|--------|--------|--------|--------|
| A | 21.0 | 27.9 | 32.4 | 38.0 | 42.2 | 46.4 |
| B | -0.699 | -0.699 | -0.699 | -0.699 | -0.699 | -0.699 |

Statistics**Rainfall intensity (mm hr⁻¹)**

| Duration | 5-min | 10-min | 15-min | 30-min | 1-hr | 2-hr | 6-hr | 12-hr | 24-hr |
|----------|-------|--------|--------|--------|------|------|------|-------|-------|
| 2-yr | 119.3 | 73.5 | 55.3 | 34.1 | 21.0 | 12.9 | 6.0 | 3.7 | 2.3 |
| 5-yr | 158.5 | 97.6 | 73.5 | 45.3 | 27.9 | 17.2 | 8.0 | 4.9 | 3.0 |
| 10-yr | 184.0 | 113.4 | 85.4 | 52.6 | 32.4 | 20.0 | 9.3 | 5.7 | 3.5 |
| 25-yr | 215.8 | 133.0 | 100.1 | 61.7 | 38.0 | 23.4 | 10.9 | 6.7 | 4.1 |
| 50-yr | 239.7 | 147.7 | 111.2 | 68.5 | 42.2 | 26.0 | 12.1 | 7.4 | 4.6 |
| 100-yr | 263.6 | 162.3 | 122.3 | 75.3 | 46.4 | 28.6 | 13.3 | 8.2 | 5.0 |

Rainfall depth (mm)

| Duration | 5-min | 10-min | 15-min | 30-min | 1-hr | 2-hr | 6-hr | 12-hr | 24-hr |
|----------|-------|--------|--------|--------|------|------|------|-------|-------|
| 2-yr | 9.9 | 12.2 | 13.8 | 17.0 | 21.0 | 25.9 | 36.0 | 44.4 | 54.7 |
| 5-yr | 13.2 | 16.3 | 18.4 | 22.6 | 27.9 | 34.4 | 47.8 | 58.9 | 72.6 |
| 10-yr | 15.3 | 18.9 | 21.3 | 26.3 | 32.4 | 39.9 | 55.6 | 68.5 | 84.3 |
| 25-yr | 18.0 | 22.2 | 25.0 | 30.8 | 38.0 | 46.8 | 65.2 | 80.3 | 98.9 |
| 50-yr | 20.0 | 24.6 | 27.8 | 34.3 | 42.2 | 52.0 | 72.4 | 89.2 | 109.8 |
| 100-yr | 22.0 | 27.1 | 30.6 | 37.7 | 46.4 | 57.2 | 79.6 | 98.0 | 120.8 |

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Last Modified: September 2016

Appendix C
Storm Drainage Design Sheet



Date Prepared: 28-Mar-19
 Project: Foxboro Gas
 Project No.: n 1713
 t_c (start): 10.0 minutes

**Storm Drainage Design Chart
 For Circular Drains Flowing Full
 8092 Highway 62
 Township of Threlow, Hastings**

IDF Curve

Township of Threlow, Hastings

$I = AT^B$

| Rainfall Intensity (mm/hr) = $I = AT^B$ | |
|---|--------|
| Constants | |
| A | 21.0 |
| B | -0.699 |
| 2-yrs | 27.9 |
| 5-yrs | 32.4 |
| 10-yrs | 38.0 |
| 25-yrs | 42.2 |
| 100-yrs | 46.4 |

$I = AT^B$

| Catchment ID | Total Area (ha.) | Captured By | Outlet to | R runoff Coeff. | A x R | ACC. A x R | t _c (min) | Hydrology | | Peak Flow (m ³ /sec) | | STORM SEWER DESIGN INFORMATION | | | | Design | | | | |
|-----------------|------------------|-------------|-----------|-----------------|-------|------------|----------------------|-------------------------------|------------------|---------------------------------|---------|--------------------------------|-----------|------------|----------------------------|--------------|------------------|--------------|------------|----------------|
| | | | | | | | | Rainfall Intensity, I (mm/hr) | | 2-yrs | 100-yrs | size (mm) | slope (%) | length (m) | Q full (m ³ /s) | V full (m/s) | TIME SECT. (min) | Invert Start | Invert End | % Flow (2 yrs) |
| | | | | | | | | I ₂ | I ₁₀₀ | 100-yrs | 100-yrs | 100-yrs | 100-yrs | 100-yrs | 100-yrs | 100-yrs | 100-yrs | 100-yrs | 100-yrs | 100-yrs |
| A3 (North Side) | 0.106 | CB2 | MH2 | 0.78 | 0.083 | 0.08 | 10.00 | 73.48 | 162.35 | 0.017 | 0.037 | 300 | 0.50 | 30.00 | 0.068 | 0.967 | 0.52 | 267.15 | 267.05 | 25% |
| BLDG(ROOF) | 0.026 | Roof Inlet | MH2 | 0.95 | 0.025 | 0.02 | 10.00 | 73.48 | 162.35 | 0.005 | 0.011 | 300 | 0.50 | 4.00 | 0.068 | 0.967 | 0.07 | 267.12 | 267.05 | 7% |
| Pipe Conveyance | | MH2 | CBMH1 | | | 0.11 | 10.52 | 70.93 | 156.73 | 0.021 | 0.047 | 300 | 0.50 | 45.00 | 0.068 | 0.967 | 0.78 | 267.12 | 267.05 | 31% |
| Az(East Side) | 0.100 | CBMH1 | S.C | 0.41 | 0.041 | 0.15 | 11.29 | 67.49 | 149.13 | 0.028 | 0.061 | 300 | 0.50 | 4.00 | 0.068 | 0.967 | 0.07 | 266.95 | 266.80 | 41% |
| A1(West Side) | 0.167 | CB1 | Pipe | 0.85 | 0.142 | 0.14 | 10.00 | 73.48 | 162.35 | 0.029 | 0.064 | 300 | 0.50 | 1.50 | 0.068 | 0.967 | 0.03 | 267.25 | 267.00 | 42% |
| Pipe Conveyance | | S.C | MH1 | | | 0.29 | 11.36 | 67.21 | 148.49 | 0.054 | 0.120 | 300 | 0.50 | 10.00 | 0.068 | 0.967 | 0.17 | 266.90 | 266.80 | 79% |
| Pipe Conveyance | | MH1 | OUTLET | | | 0.29 | 11.53 | 66.50 | 146.94 | 0.054 | 0.119 | 300 | 0.50 | 17.00 | 0.068 | 0.967 | 0.29 | 266.70 | 266.68 | 78% |

S.C - Stormwater Chamber

Appendix D
Onsite Detention Storage
Orifice Pipe Sizing



n Architecture Inc

**Table 1
Orifice Sizing Calculations**

| | |
|--|--------------------------------------|
| Project: | Foxboro Gas |
| Address: | 8092 Highway 62 |
| Town/Township/City | Township of Thrulow, Hastings |
| Project No. | n 1713 |
| Proposed Development Area (m²) | 4051.13 |
| Date: | 3/28/2019 |

| | | |
|--|-------------|----------------|
| Orifice Location | MH1 | |
| Orifice Type | Pipe | |
| Invert Elevation | 114.107 | m |
| Min. Ground Elevation | 114.950 | m |
| Orifice Center Elevation | 114.145 | |
| Diameter of Orifice Pipe | 75 | mm |
| Area of Orifice (A) | 0.004415625 | m ² |
| Coefficient of Discharge (C _d) | 0.8 | |
| Gravitational Constant | 9.81 | |

Orifice Flow Equation:

$$Q = C_d A_o \sqrt{2gH}$$

Where:

Q = Flow (m³/sec)

A_o = Orifice area (m²)

g = Gravitational Constant

H = Center line head (m)

C_d = coefficient of discharge,

| | 2 year | 5 years | 10 years | 25 years | 50 years | 100 years |
|--------------------------------|--------------|--------------|--------------|--------------|--------------|--------------|
| Ponding Depth (m) | -0.115 | 0.220 | 0.220 | 0.220 | 0.220 | 0.220 |
| Water Elevation | 114.84 | 115.17 | 115.17 | 115.17 | 115.17 | 115.17 |
| Upstream Head (m) | 0.691 | 1.026 | 1.026 | 1.026 | 1.026 | 1.026 |
| Toral Discharge (L/sec) | 13.00 | 15.85 | 15.85 | 15.85 | 15.85 | 15.85 |
| Discharge Velocity (m/sec) | 2.94 | 3.59 | 3.59 | 3.59 | 3.59 | 3.59 |

| | | | | | | |
|--|--------------|--------------|--------------|--------------|--------------|--------------|
| Pre-delevopment Peak Flow (l/sec) | 13.01 | 17.29 | 20.08 | 23.55 | 26.15 | 28.75 |
|--|--------------|--------------|--------------|--------------|--------------|--------------|

On-Site Storage Calculator

City of Toronto

Project No.

n1713

Project Name

Gas Station

Address:

8092 Highway 62

Township

Township of Thrulow

County

County of Hasting

Date

March 28, 2019

Table 3.1- On-Site Storage Requirement (2 Yr.)

| | | |
|-----------------|-------------------------|---|
| $R =$ | 0.70 | Equation of IDF: $I = AT^B$ $I =$ Rainfall Intensity (mm/hr) $T =$ Time of Concentration (hr) $A = 21$ $B = -0.699$ |
| $A =$ | 0.4052 ha | |
| $Q_{release} =$ | 0.013 m ³ /s | |
| | 13.00 L/s | |

| t_c (min) | i_2 (mm/hr) | Q_2 (m ³ /s) | Q_{stored} (m ³ /s) | Peak Volume (m ³) |
|----------------|------------------|------------------------------|-------------------------------------|----------------------------------|
| 10 | 73.476 | 0.058 | 0.045 | 26.936 |
| 11 | 68.741 | 0.054 | 0.041 | 27.167 |
| 12 | 64.684 | 0.051 | 0.038 | 27.335 |
| 13 | 61.165 | 0.048 | 0.035 | 27.450 |
| 14 | 58.077 | 0.046 | 0.033 | 27.518 |
| 15 | 55.343 | 0.044 | 0.031 | 27.545 *** |
| 16 | 52.901 | 0.042 | 0.029 | 27.534 |
| 17 | 50.706 | 0.040 | 0.027 | 27.491 |
| 18 | 48.720 | 0.038 | 0.025 | 27.419 |
| 19 | 46.914 | 0.037 | 0.024 | 27.319 |
| 20 | 45.261 | 0.036 | 0.023 | 27.194 |
| 21 | 43.744 | 0.034 | 0.021 | 27.048 |
| 22 | 42.344 | 0.033 | 0.020 | 26.880 |
| 23 | 41.049 | 0.032 | 0.019 | 26.693 |
| 24 | 39.846 | 0.031 | 0.018 | 26.489 |
| 25 | 38.725 | 0.031 | 0.018 | 26.267 |
| 26 | 37.677 | 0.030 | 0.017 | 26.031 |
| 27 | 36.696 | 0.029 | 0.016 | 25.780 |
| 28 | 35.775 | 0.028 | 0.015 | 25.516 |
| 29 | 34.908 | 0.028 | 0.015 | 25.238 |
| 30 | 34.091 | 0.027 | 0.014 | 24.949 |
| 31 | 33.318 | 0.026 | 0.013 | 24.649 |
| 32 | 32.587 | 0.026 | 0.013 | 24.338 |
| 33 | 31.894 | 0.025 | 0.012 | 24.017 |
| 34 | 31.235 | 0.025 | 0.012 | 23.686 |
| 35 | 30.609 | 0.024 | 0.011 | 23.346 |
| 36 | 30.012 | 0.024 | 0.011 | 22.997 |
| 37 | 29.442 | 0.023 | 0.010 | 22.640 |
| 38 | 28.899 | 0.023 | 0.010 | 22.275 |
| 39 | 28.379 | 0.022 | 0.009 | 21.902 |
| 40 | 27.881 | 0.022 | 0.009 | 21.523 |
| 41 | 27.404 | 0.022 | 0.009 | 21.136 |
| 42 | 26.946 | 0.021 | 0.008 | 20.743 |
| 43 | 26.507 | 0.021 | 0.008 | 20.343 |
| 44 | 26.084 | 0.021 | 0.008 | 19.937 |

On-Site Storage Calculator

City of Toronto

Project No.

n1713

Project Name

Gas Station

Address:

8092 Highway 62

Township

Township of Thrulow

County

County of Hasting

Date

March 28, 2019

Table 3.2 - On-Site Storage Requirement (5 Yr.)

| | | |
|-----------------|-------------------------|----------------------------------|
| $R =$ | 0.70 | Equation of IDF: $I = AT^B$ |
| $A =$ | 0.4052 ha | $I =$ Rainfall Intensity (mm/hr) |
| $Q_{release} =$ | 0.016 m ³ /s | $T =$ Time of Concentration (hr) |
| | 15.85 L/s | $A = 27.9$ |
| | | $B = -0.699$ |

| t_c (min) | i_5 (mm/hr) | Q_5 37 | Q_{stored} (m ³ /s) | Peak Volume (m ³) |
|----------------|------------------|-------------|-------------------------------------|----------------------------------|
| 10 | 97.618 | 0.077 | 0.061 | 36.640 |
| 11 | 91.327 | 0.072 | 0.056 | 37.032 |
| 12 | 85.938 | 0.068 | 0.052 | 37.341 |
| 13 | 81.262 | 0.064 | 0.048 | 37.579 |
| 14 | 77.159 | 0.061 | 0.045 | 37.755 |
| 15 | 73.527 | 0.058 | 0.042 | 37.875 |
| 16 | 70.283 | 0.055 | 0.040 | 37.947 |
| 17 | 67.367 | 0.053 | 0.037 | 37.975 *** |
| 18 | 64.729 | 0.051 | 0.035 | 37.964 |
| 19 | 62.328 | 0.049 | 0.033 | 37.916 |
| 20 | 60.133 | 0.047 | 0.032 | 37.836 |
| 21 | 58.117 | 0.046 | 0.030 | 37.727 |
| 22 | 56.257 | 0.044 | 0.028 | 37.589 |
| 23 | 54.536 | 0.043 | 0.027 | 37.426 |
| 24 | 52.938 | 0.042 | 0.026 | 37.240 |
| 25 | 51.448 | 0.041 | 0.025 | 37.031 |
| 26 | 50.057 | 0.039 | 0.024 | 36.803 |
| 27 | 48.754 | 0.038 | 0.023 | 36.554 |
| 28 | 47.530 | 0.037 | 0.022 | 36.288 |
| 29 | 46.378 | 0.037 | 0.021 | 36.006 |
| 30 | 45.292 | 0.036 | 0.020 | 35.707 |
| 31 | 44.266 | 0.035 | 0.019 | 35.393 |
| 32 | 43.294 | 0.034 | 0.018 | 35.065 |
| 33 | 42.373 | 0.033 | 0.018 | 34.723 |
| 34 | 41.498 | 0.033 | 0.017 | 34.369 |
| 35 | 40.666 | 0.032 | 0.016 | 34.002 |
| 36 | 39.873 | 0.031 | 0.016 | 33.624 |
| 37 | 39.116 | 0.031 | 0.015 | 33.235 |
| 38 | 38.394 | 0.030 | 0.014 | 32.836 |
| 39 | 37.703 | 0.030 | 0.014 | 32.426 |
| 40 | 37.042 | 0.029 | 0.013 | 32.007 |
| 41 | 36.408 | 0.029 | 0.013 | 31.579 |
| 42 | 35.800 | 0.028 | 0.012 | 31.141 |
| 43 | 35.216 | 0.028 | 0.012 | 30.696 |
| 44 | 34.654 | 0.027 | 0.011 | 30.242 |

On-Site Storage Calculator

City of Toronto

Project No.

n1713

Project Name

Gas Station

Address:

8092 Highway 62

Township

Township of Thrulow

County

County of Hasting

Date

March 28, 2019

Table 3.3 - On-Site Storage Requirement (10 Yr.)

| | | |
|-----------------|-------------------------|----------------------------------|
| $R =$ | 0.70 | Equation of IDF: $I = AT^B$ |
| $A =$ | 0.4052 ha | $I =$ Rainfall Intensity (mm/hr) |
| $Q_{release} =$ | 0.015 m ³ /s | $T =$ Time of Concentration (hr) |
| | 15.45 L/s | $A = 32.4$ |
| | | $B = -0.699$ |

| t_c (min) | i_{10} (mm/hr) | Q_{10} (m ³ /s) | Q_{stored} (m ³ /s) | Peak Volume (m ³) |
|----------------|---------------------|---------------------------------|-------------------------------------|----------------------------------|
| 10 | 113.363 | 0.089 | 0.074 | 44.323 |
| 11 | 106.057 | 0.084 | 0.068 | 44.956 |
| 12 | 99.799 | 0.079 | 0.063 | 45.493 |
| 13 | 94.368 | 0.074 | 0.059 | 45.946 |
| 14 | 89.604 | 0.071 | 0.055 | 46.327 |
| 15 | 85.386 | 0.067 | 0.052 | 46.645 |
| 16 | 81.619 | 0.064 | 0.049 | 46.906 |
| 17 | 78.233 | 0.062 | 0.046 | 47.116 |
| 18 | 75.169 | 0.059 | 0.044 | 47.280 |
| 19 | 72.381 | 0.057 | 0.042 | 47.402 |
| 20 | 69.832 | 0.055 | 0.040 | 47.487 |
| 21 | 67.490 | 0.053 | 0.038 | 47.537 |
| 22 | 65.331 | 0.051 | 0.036 | 47.554 *** |
| 23 | 63.332 | 0.050 | 0.034 | 47.543 |
| 24 | 61.476 | 0.048 | 0.033 | 47.504 |
| 25 | 59.747 | 0.047 | 0.032 | 47.439 |
| 26 | 58.131 | 0.046 | 0.030 | 47.350 |
| 27 | 56.617 | 0.045 | 0.029 | 47.240 |
| 28 | 55.196 | 0.043 | 0.028 | 47.108 |
| 29 | 53.859 | 0.042 | 0.027 | 46.957 |
| 30 | 52.597 | 0.041 | 0.026 | 46.787 |
| 31 | 51.406 | 0.041 | 0.025 | 46.600 |
| 32 | 50.277 | 0.040 | 0.024 | 46.397 |
| 33 | 49.208 | 0.039 | 0.023 | 46.178 |
| 34 | 48.191 | 0.038 | 0.023 | 45.943 |
| 35 | 47.225 | 0.037 | 0.022 | 45.695 |
| 36 | 46.304 | 0.036 | 0.021 | 45.434 |
| 37 | 45.426 | 0.036 | 0.020 | 45.159 |
| 38 | 44.587 | 0.035 | 0.020 | 44.873 |
| 39 | 43.784 | 0.034 | 0.019 | 44.574 |
| 40 | 43.016 | 0.034 | 0.018 | 44.265 |
| 41 | 42.280 | 0.033 | 0.018 | 43.945 |
| 42 | 41.574 | 0.033 | 0.017 | 43.614 |
| 43 | 40.896 | 0.032 | 0.017 | 43.274 |
| 44 | 40.244 | 0.032 | 0.016 | 42.924 |

On-Site Storage Calculator

City of Toronto

Project No.

n1713

Project Name

Gas Station

Address:

8092 Highway 62

Township

Township of Thrulow

County

County of Hasting

Date

March 28, 2019

Table 3.4 - On-Site Storage Requirement (25 Yr.)

| | | |
|-----------------|-------------------------|----------------------------------|
| $R =$ | 0.70 | Equation of IDF: $I = AT^B$ |
| $A =$ | 0.4052 ha | $I =$ Rainfall Intensity (mm/hr) |
| $Q_{release} =$ | 0.016 m ³ /s | $T =$ Time of Concentration (hr) |
| | 15.85 L/s | $A = 38$ |
| | | $B = -0.699$ |

| t_c (min) | i_{25} (mm/hr) | Q_{25} (m ³ /s) | Q_{stored} (m ³ /s) | Peak Volume (m ³) |
|----------------|---------------------|---------------------------------|-------------------------------------|----------------------------------|
| 10 | 132.957 | 0.105 | 0.089 | 53.346 |
| 11 | 124.388 | 0.098 | 0.082 | 54.225 |
| 12 | 117.048 | 0.092 | 0.076 | 54.990 |
| 13 | 110.679 | 0.087 | 0.071 | 55.658 |
| 14 | 105.092 | 0.083 | 0.067 | 56.242 |
| 15 | 100.144 | 0.079 | 0.063 | 56.750 |
| 16 | 95.726 | 0.075 | 0.060 | 57.192 |
| 17 | 91.755 | 0.072 | 0.056 | 57.575 |
| 18 | 88.161 | 0.069 | 0.054 | 57.904 |
| 19 | 84.891 | 0.067 | 0.051 | 58.183 |
| 20 | 81.901 | 0.065 | 0.049 | 58.419 |
| 21 | 79.155 | 0.062 | 0.047 | 58.614 |
| 22 | 76.623 | 0.060 | 0.045 | 58.771 |
| 23 | 74.279 | 0.059 | 0.043 | 58.893 |
| 24 | 72.101 | 0.057 | 0.041 | 58.983 |
| 25 | 70.073 | 0.055 | 0.039 | 59.044 |
| 26 | 68.178 | 0.054 | 0.038 | 59.076 |
| 27 | 66.403 | 0.052 | 0.036 | 59.083 *** |
| 28 | 64.736 | 0.051 | 0.035 | 59.065 |
| 29 | 63.168 | 0.050 | 0.034 | 59.024 |
| 30 | 61.688 | 0.049 | 0.033 | 58.961 |
| 31 | 60.291 | 0.048 | 0.032 | 58.878 |
| 32 | 58.967 | 0.046 | 0.031 | 58.775 |
| 33 | 57.713 | 0.045 | 0.030 | 58.654 |
| 34 | 56.521 | 0.045 | 0.029 | 58.516 |
| 35 | 55.387 | 0.044 | 0.028 | 58.361 |
| 36 | 54.307 | 0.043 | 0.027 | 58.190 |
| 37 | 53.277 | 0.042 | 0.026 | 58.005 |
| 38 | 52.293 | 0.041 | 0.025 | 57.805 |
| 39 | 51.352 | 0.040 | 0.025 | 57.591 |
| 40 | 50.451 | 0.040 | 0.024 | 57.365 |
| 41 | 49.588 | 0.039 | 0.023 | 57.125 |
| 42 | 48.760 | 0.038 | 0.023 | 56.874 |
| 43 | 47.964 | 0.038 | 0.022 | 56.611 |
| 44 | 47.200 | 0.037 | 0.021 | 56.337 |

On-Site Storage Calculator

City of Toronto

Project No.

n1713

Project Name

Gas Station

Address:

8092 Highway 62

Township

Township of Thrulow

County

County of Hasting

Date

March 28, 2019

Table 3.5 - On-Site Storage Requirement (50 Yr.)

| | | |
|-----------------|-------------------------|----------------------------------|
| $R =$ | 0.70 | Equation of IDF: $I = AT^B$ |
| $A =$ | 0.4052 ha | $I =$ Rainfall Intensity (mm/hr) |
| $Q_{release} =$ | 0.016 m ³ /s | $T =$ Time of Concentration (hr) |
| | 15.85 L/s | $A = 42.2$ |
| | | $B = -0.699$ |

| t_c (min) | i_{50} (mm/hr) | Q_{50} (m ³ /s) | Q_{stored} (m ³ /s) | Peak Volume (m ³) |
|----------------|---------------------|---------------------------------|-------------------------------------|----------------------------------|
| 10 | 147.652 | 0.116 | 0.100 | 60.294 |
| 11 | 138.136 | 0.109 | 0.093 | 61.374 |
| 12 | 129.985 | 0.102 | 0.087 | 62.329 |
| 13 | 122.912 | 0.097 | 0.081 | 63.177 |
| 14 | 116.707 | 0.092 | 0.076 | 63.930 |
| 15 | 111.212 | 0.088 | 0.072 | 64.599 |
| 16 | 106.307 | 0.084 | 0.068 | 65.195 |
| 17 | 101.896 | 0.080 | 0.064 | 65.725 |
| 18 | 97.905 | 0.077 | 0.061 | 66.195 |
| 19 | 94.274 | 0.074 | 0.058 | 66.611 |
| 20 | 90.954 | 0.072 | 0.056 | 66.978 |
| 21 | 87.904 | 0.069 | 0.053 | 67.299 |
| 22 | 85.092 | 0.067 | 0.051 | 67.579 |
| 23 | 82.488 | 0.065 | 0.049 | 67.820 |
| 24 | 80.070 | 0.063 | 0.047 | 68.025 |
| 25 | 77.818 | 0.061 | 0.045 | 68.197 |
| 26 | 75.714 | 0.060 | 0.044 | 68.339 |
| 27 | 73.742 | 0.058 | 0.042 | 68.451 |
| 28 | 71.891 | 0.057 | 0.041 | 68.536 |
| 29 | 70.149 | 0.055 | 0.039 | 68.595 |
| 30 | 68.507 | 0.054 | 0.038 | 68.631 |
| 31 | 66.954 | 0.053 | 0.037 | 68.644 *** |
| 32 | 65.485 | 0.052 | 0.036 | 68.635 |
| 33 | 64.091 | 0.050 | 0.035 | 68.606 |
| 34 | 62.768 | 0.049 | 0.034 | 68.557 |
| 35 | 61.509 | 0.048 | 0.033 | 68.490 |
| 36 | 60.309 | 0.048 | 0.032 | 68.406 |
| 37 | 59.165 | 0.047 | 0.031 | 68.305 |
| 38 | 58.073 | 0.046 | 0.030 | 68.188 |
| 39 | 57.028 | 0.045 | 0.029 | 68.056 |
| 40 | 56.027 | 0.044 | 0.028 | 67.909 |
| 41 | 55.069 | 0.043 | 0.028 | 67.749 |
| 42 | 54.149 | 0.043 | 0.027 | 67.575 |
| 43 | 53.265 | 0.042 | 0.026 | 67.388 |
| 44 | 52.416 | 0.041 | 0.025 | 67.189 |

On-Site Storage Calculator

City of Toronto

Project No.

n1713

Project Name

Gas Station

Address:

8092 Highway 62

Township

Township of Thrulow

County

County of Hasting

Date

March 28, 2019

Table 3.6 -On-Site Storage Requirement (100 Yr.)

| | | |
|-----------------|-------------------------|----------------------------------|
| $R =$ | 0.70 | Equation of IDF: $I = AT^B$ |
| $A =$ | 0.4052 ha | $I =$ Rainfall Intensity (mm/hr) |
| $Q_{release} =$ | 0.016 m ³ /s | $T =$ Time of Concentration (hr) |
| | 15.85 L/s | $A = 46.4$ |
| | | $B = -0.699$ |

| t_c (min) | i_{100} (mm/hr) | Q_{100} (m ³ /s) | Q_{stored} (m ³ /s) | Peak Volume (m ³) |
|----------------|----------------------|----------------------------------|-------------------------------------|----------------------------------|
| 10 | 162.348 | 0.128 | 0.112 | 67.241 |
| 11 | 151.884 | 0.120 | 0.104 | 68.524 |
| 12 | 142.922 | 0.113 | 0.097 | 69.669 |
| 13 | 135.145 | 0.106 | 0.091 | 70.695 |
| 14 | 128.322 | 0.101 | 0.085 | 71.617 |
| 15 | 122.281 | 0.096 | 0.080 | 72.449 |
| 16 | 116.887 | 0.092 | 0.076 | 73.198 |
| 17 | 112.037 | 0.088 | 0.072 | 73.876 |
| 18 | 107.649 | 0.085 | 0.069 | 74.487 |
| 19 | 103.657 | 0.082 | 0.066 | 75.039 |
| 20 | 100.006 | 0.079 | 0.063 | 75.537 |
| 21 | 96.653 | 0.076 | 0.060 | 75.985 |
| 22 | 93.560 | 0.074 | 0.058 | 76.387 |
| 23 | 90.698 | 0.071 | 0.056 | 76.747 |
| 24 | 88.040 | 0.069 | 0.054 | 77.067 |
| 25 | 85.563 | 0.067 | 0.052 | 77.351 |
| 26 | 83.249 | 0.066 | 0.050 | 77.601 |
| 27 | 81.082 | 0.064 | 0.048 | 77.819 |
| 28 | 79.046 | 0.062 | 0.046 | 78.007 |
| 29 | 77.131 | 0.061 | 0.045 | 78.167 |
| 30 | 75.325 | 0.059 | 0.044 | 78.301 |
| 31 | 73.618 | 0.058 | 0.042 | 78.410 |
| 32 | 72.002 | 0.057 | 0.041 | 78.494 |
| 33 | 70.470 | 0.056 | 0.040 | 78.557 |
| 34 | 69.015 | 0.054 | 0.039 | 78.598 |
| 35 | 67.630 | 0.053 | 0.037 | 78.620 |
| 36 | 66.312 | 0.052 | 0.036 | 78.621 *** |
| 37 | 65.054 | 0.051 | 0.035 | 78.605 |
| 38 | 63.852 | 0.050 | 0.034 | 78.571 |
| 39 | 62.703 | 0.049 | 0.034 | 78.521 |
| 40 | 61.604 | 0.049 | 0.033 | 78.454 |
| 41 | 60.549 | 0.048 | 0.032 | 78.372 |
| 42 | 59.538 | 0.047 | 0.031 | 78.275 |
| 43 | 58.567 | 0.046 | 0.030 | 78.165 |
| 44 | 57.633 | 0.045 | 0.030 | 78.040 |

Appendix E
Stormceptor Sizing Summary



Detailed Stormceptor Sizing Report – Foxboro

| Project Information & Location | | | |
|--------------------------------|-------------------------------|----------------------------|--------------------|
| Project Name | Foxboro Gas Station | Project Number | 1713 |
| City | Foxboro | State/ Province | Ontario |
| Country | Canada | Date | 11/6/2018 |
| Designer Information | | EOR Information (optional) | |
| Name | Brandon O'Leary | Name | Abu Ziauddin |
| Company | Forterra | Company | nArchitecture Inc. |
| Phone # | 905-630-0359 | Phone # | |
| Email | brandon.oleary@forterrabp.com | Email | |

Stormwater Treatment Recommendation

The recommended Stormceptor Model(s) which achieve or exceed the user defined water quality objective for each site within the project are listed in the below Sizing Summary table.

| | |
|-------------------------------|-------------------|
| Site Name | Foxboro |
| Recommended Stormceptor Model | EFO4 |
| TSS Removal (%) Provided | 92 |
| PSD | Fine Distribution |
| RainFall Station | BELLEVILLE |

The recommended Stormceptor model achieves the water quality objectives based on the selected inputs, historical rainfall records and selected particle size distribution.

| EFO Sizing Summary | | | |
|----------------------|------------------------|-----------------------------------|---|
| EFO Model | % TSS Removal Provided | % Runoff Volume Captured Provided | Standard EFO Hydrocarbon Storage Capacity |
| EFO4 | 92 | 94 | 265 L (70 gal) |
| EFO6 | 96 | 99 | 610 L (160 gal) |
| EFO8 | 97 | 99 | 1070 L (280 gal) |
| EFO10 | 98 | 99 | 1670 L (440 gal) |
| EFO12 | 99 | 100 | 2475 L (655 gal) |
| Parallel Units / MAX | Custom | Custom | Custom |



OVERVIEW

Stormceptor® EF is a continuation and evolution of the most globally recognized oil-grit separator (OGS) stormwater treatment technology - **Stormceptor®**. Also known as a hydrodynamic separator, the enhanced flow Stormceptor EF is a high performing oil-grit separator that effectively removes a wide variety of pollutants from stormwater and snowmelt runoff at higher flow rates as compared to the original Stormceptor. Stormceptor EF captures and retains sediment (TSS), free oils, gross pollutants and other pollutants that attach to particles, such as nutrients and metals. Stormceptor EF's patent-pending treatment and scour prevention technology and internal bypass ensures sediment is retained during all rainfall events.

Design Methodology

Stormceptor is sized using PCSWMM for Stormceptor, a continuous simulation model based on US EPA SWMM. The program calculates hydrology using local historical rainfall data and specified site parameters. With US EPA SWMM's precision, every Stormceptor unit is designed to achieve a defined water quality objective. The TSS removal data presented follows US EPA guidelines to reduce the average annual TSS load. The Stormceptor's unit process for TSS removal is settling. The settling model calculates TSS removal by analyzing:

- Site parameters
- Continuous historical rainfall data, including duration, distribution, peaks & inter-event dry periods
- Particle size distribution, and associated settling velocities (Stokes Law, corrected for drag)
- TSS load
- Detention time of the system

| Hydrology Analysis | |
|--|--|
| PCSWMM for Stormceptor calculates annual hydrology with the US EPA SWMM and local continuous historical rainfall data. Performance calculations of Stormceptor are based on the average annual removal of TSS for the selected site parameters. The Stormceptor is engineered to capture sediment particles by treating the required average annual runoff volume, ensuring positive removal efficiency is maintained during each rainfall event, and preventing negative removal efficiency (scour). Smaller recurring storms account for the majority of rainfall events and average annual runoff volume, as observed in the historical rainfall data analyses presented in this section. | |

| Rainfall Station | | | |
|-------------------------------|------------------|---|---------|
| State/Province | Ontario | Total Number of Rainfall Events | 2948 |
| Rainfall Station Name | BELLEVILLE | Total Rainfall (mm) | 13533.1 |
| Station ID # | 0689 | Average Annual Rainfall (mm) | 466.7 |
| Coordinates | 44°09'N, 77°23'W | Total Evaporation (mm) | 751.7 |
| Elevation (ft) | 250 | Total Infiltration (mm) | 4724.4 |
| Years of Rainfall Data | 29 | Total Rainfall that is Runoff (mm) | 8057.0 |

| Notes | |
|--|--|
| <ul style="list-style-type: none"> • Stormceptor performance estimates are based on simulations using PCSWMM for Stormceptor, which uses the EPA Rainfall and Runoff modules. • Design estimates listed are only representative of specific project requirements based on total suspended solids (TSS) removal defined by the selected PSD, and based on stable site conditions only, after construction is completed. • For submerged applications or sites specific to spill control, please contact your local Stormceptor representative for further design assistance. | |

ONLINE APPLICATION

Stormceptor EF's internal bypass and patent-pending scour prevention technology has demonstrated very effective retention of pollutants in third-party testing and verification following the Canadian ETV's **Procedure for Laboratory Testing of Oil-Grit Separators**. Sediment scour prevention demonstrated an effluent concentration of less than 10 mg/L for sediment particles ranging from 1 to 1,000 microns, even during peak influent flow rates associated with infrequent high intensity storm events. While Stormceptor EF will capture oil, only the Stormceptor EFO configuration has been third-party tested and verified to retain greater than 99% of captured oil. Based on these verified performance attributes, the most efficient and widely accepted application of Stormceptor EF is an online configuration, which allows all upstream conveyance flows to enter and exit the unit. The online application eliminates the need for costly additional bypass structures, piping and installation expense.



FLOW ENTRANCE OPTIONS

Single Inlet Pipe – A common design which includes one inlet pipe and one outlet pipe. A 90-degree (maximum) bend is also accepted with this configuration.

Inlet Grate – Allows surface runoff to enter the unit from grade. The inlet grate option can also be used in conjunction with one inlet pipe or multiple inlet pipes. A removable flow deflector is added in the Stormceptor EF4/EFO4.

| Maximum Pipe Diameter | | |
|-----------------------|---------------|----------------|
| Model | Inlet (In/mm) | Outlet (In/mm) |
| EF4 / EFO4 | 24 / 610 | 24 / 610 |
| EF6 / EFO6 | 36 / 915 | 36 / 915 |
| EF8 / EFO8 | 48 / 1220 | 48 / 1220 |
| EF10/EFO10 | 72 / 1828 | 72 / 1828 |
| EF12/EFO12 | 72 / 1828 | 72 / 1828 |

Multiple Inlet Pipe – Allows for multiple inlet pipes of various diameters to enter the unit.

| Maximum Pipe Diameter | | |
|-----------------------|---------------|----------------|
| Model | Inlet (In/mm) | Outlet (In/mm) |
| EF4 / EFO4 | 18 / 457 | 24 / 610 |
| EF6 / EFO6 | 30 / 762 | 36 / 915 |
| EF8 / EFO8 | 42 / 1067 | 48 / 1220 |
| EF10/EFO10 | 60 / 1524 | 72 / 1828 |
| EF12/EFO12 | 60 / 1524 | 72 / 1828 |



| Drainage Area | |
|------------------|------|
| Total Area (ha) | 0.41 |
| Imperviousness % | 65 |

| Up Stream Storage | |
|-------------------|-----------------|
| Storage (ha-m) | Discharge (cms) |
| 0.000 | 0.000 |

| Up Stream Flow Diversion | |
|--------------------------------|--|
| Max. Flow to Stormceptor (cms) | |

| Water Quality Objective | |
|-------------------------------|-------|
| TSS Removal (%) | 80.0 |
| Runoff Volume Capture (%) | 90.00 |
| Oil Spill Capture Volume (L) | |
| Peak Conveyed Flow Rate (L/s) | |
| Water Quality Flow Rate (L/s) | 9.85 |

| Design Details | |
|------------------------------------|---------------|
| Stormceptor Inlet Invert Elev (m) | 114.33 |
| Stormceptor Outlet Invert Elev (m) | |
| Stormceptor Rim Elev (m) | 115.50 |
| Normal Water Level Elevation (m) | |
| Pipe Diameter (mm) | 300 |
| Pipe Material | PVC - plastic |
| Multiple Inlets (Y/N) | No |
| Grate Inlet (Y/N) | No |

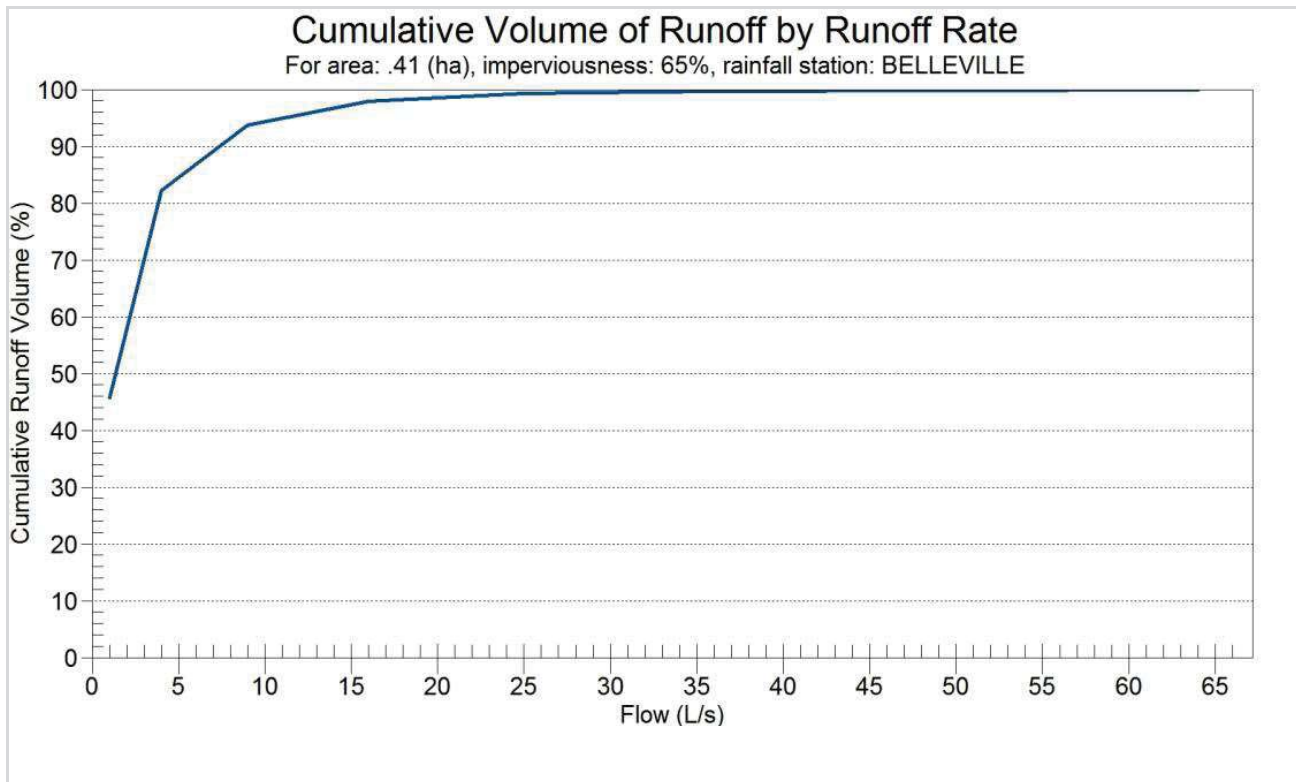
| Particle Size Distribution (PSD) | | |
|---|----------------|------------------|
| Removing the smallest fraction of particulates from runoff ensures the majority of pollutants, such as metals, hydrocarbons and nutrients are captured. The table below identifies the Particle Size Distribution (PSD) that was selected to define TSS removal for the Stormceptor design. | | |
| Fine Distribution | | |
| Particle Diameter (microns) | Distribution % | Specific Gravity |
| 20.0 | 20.0 | 1.30 |
| 60.0 | 20.0 | 1.80 |
| 150.0 | 20.0 | 2.20 |
| 400.0 | 20.0 | 2.65 |
| 2000.0 | 20.0 | 2.65 |



| | | | |
|------------------------------------|--------------------|--|---------|
| Site Name | | Foxboro | |
| Site Details | | | |
| Drainage Area | | Infiltration Parameters | |
| Total Area (ha) | 0.41 | Horton's equation is used to estimate infiltration | |
| Imperviousness % | 65 | Max. Infiltration Rate (mm/hr) | 61.98 |
| Oil Spill Capture Volume (L) | | Min. Infiltration Rate (mm/hr) | 10.16 |
| | | Decay Rate (1/sec) | 0.00055 |
| | | Regeneration Rate (1/sec) | 0.01 |
| Surface Characteristics | | Evaporation | |
| Width (m) | 128.00 | Daily Evaporation Rate (mm/day) | 2.54 |
| Slope % | 2 | Dry Weather Flow | |
| Impervious Depression Storage (mm) | 0.508 | Dry Weather Flow (lps) | 0 |
| Pervious Depression Storage (mm) | 5.08 | | |
| Impervious Manning's n | 0.015 | | |
| Pervious Manning's n | 0.25 | | |
| Maintenance Frequency | | Winter Months | |
| Maintenance Frequency (months) > | 12 | Winter Infiltration | 0 |
| TSS Loading Parameters | | | |
| TSS Loading Function | Build Up/ Wash-off | | |
| Buildup/Wash-off Parameters | | TSS Availability Parameters | |
| Target Event Mean Conc. (EMC) mg/L | 125 | Availability Constant A | 0.057 |
| Exponential Buildup Power | 0.40 | Availability Factor B | 0.04 |
| Exponential Washoff Exponent | 0.20 | Availability Exponent C | 1.10 |
| | | Min. Particle Size Affected by Availability (micron) | 400 |

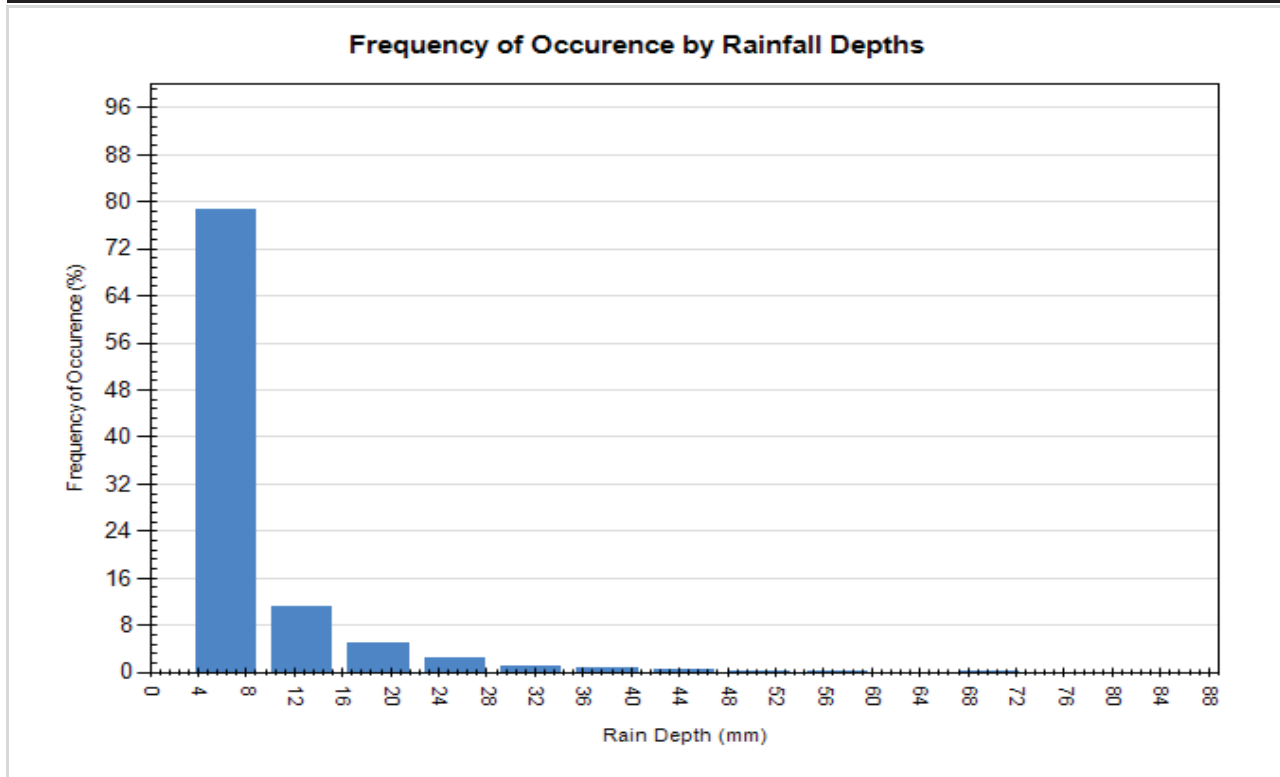


| Cumulative Runoff Volume by Runoff Rate | | | |
|---|---------------------------------|-------------------------------|------------------------------|
| Runoff Rate (L/s) | Runoff Volume (m ³) | Volume Over (m ³) | Cumulative Runoff Volume (%) |
| 1 | 15223 | 18067 | 45.7 |
| 4 | 27382 | 5909 | 82.2 |
| 9 | 31199 | 2092 | 93.7 |
| 16 | 32591 | 700 | 97.9 |
| 25 | 33050 | 241 | 99.3 |
| 36 | 33179 | 112 | 99.7 |
| 49 | 33241 | 51 | 99.8 |
| 64 | 33270 | 21 | 99.9 |
| 81 | 33284 | 7 | 100 |
| 100 | 33291 | 0 | 100 |
| 121 | 33291 | 0 | 100 |





| Rainfall Event Analysis | | | | |
|-------------------------|---------------|--------------------------------|-------------------|---------------------------------|
| Rainfall Depth (mm) | No. of Events | Percentage of Total Events (%) | Total Volume (mm) | Percentage of Annual Volume (%) |
| 6.35 | 2319 | 78.7 | 3839 | 28.4 |
| 12.70 | 331 | 11.2 | 3026 | 22.4 |
| 19.05 | 149 | 5.1 | 2293 | 16.9 |
| 25.40 | 74 | 2.5 | 1615 | 11.9 |
| 31.75 | 29 | 1.0 | 818 | 6.0 |
| 38.10 | 21 | 0.7 | 725 | 5.4 |
| 44.45 | 11 | 0.4 | 445 | 3.3 |
| 50.80 | 5 | 0.2 | 232 | 1.7 |
| 57.15 | 5 | 0.2 | 275 | 2.0 |
| 63.50 | 1 | 0.0 | 60 | 0.4 |
| 69.85 | 3 | 0.1 | 204 | 1.5 |
| 76.20 | 0 | 0.0 | 0 | 0.0 |
| 82.55 | 0 | 0.0 | 0 | 0.0 |

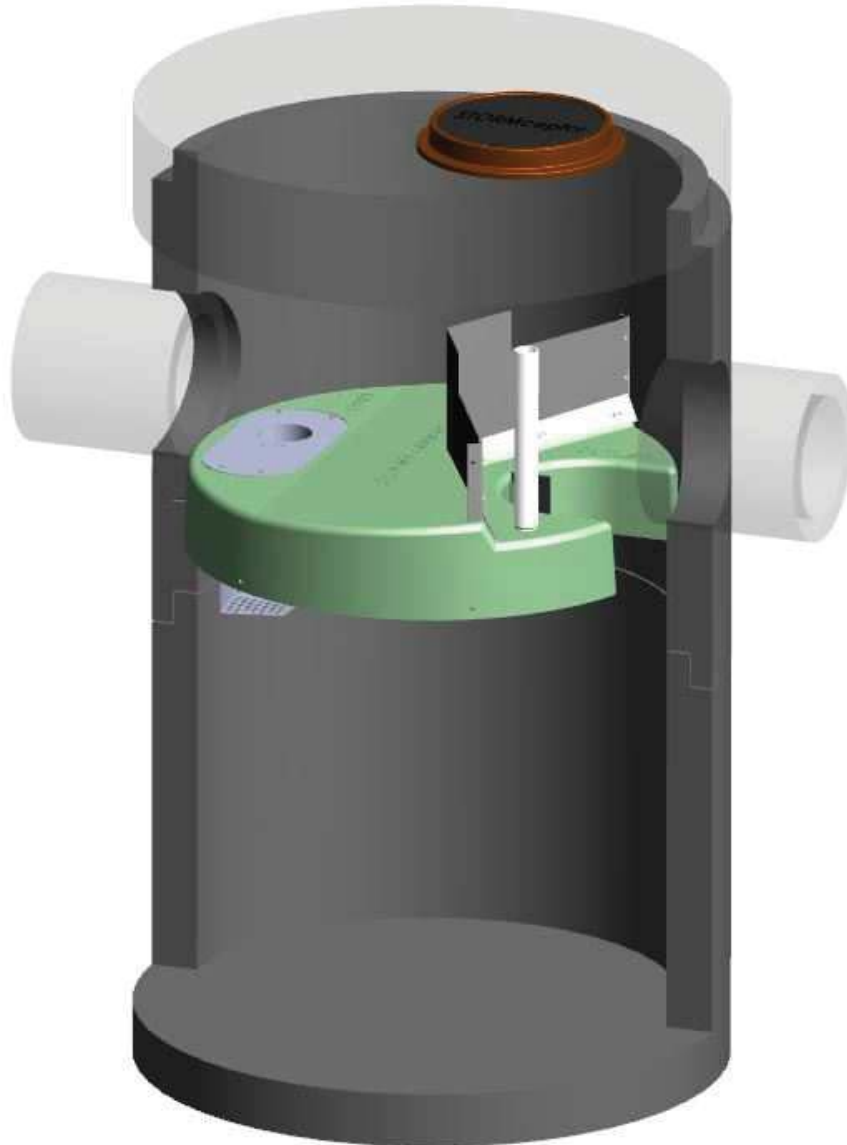




**For Stormceptor Specifications and Drawings Please Visit:
<http://www.imbriumsystems.com/technical-specifications>**

Stormceptor® EF

Owner's Manual



Stormceptor is protected by one or more of the following patents:

Canadian Patent No. 2,137,942
Canadian Patent No. 2,180,305
Canadian Patent No. 2,327,768
Canadian Patent No. 2,694,159
Canadian Patent No. 2,697,287
U.S. Patent No. 6,068,765
U.S. Patent No. 6,371,690
U.S. Patent No. 7,582,216
U.S. Patent No. 7,666,303
Australia Patent No. 693.164
Australia Patent No. 729,096
Australia Patent No. 2008,279,378
Australia Patent No. 2008,288,900
Japanese Patent No. 5,997,750
Japanese Patent No. 5,555,160
Korean Patent No. 0519212
Korean Patent No. 1451593
New Zealand Patent No. 583,008
New Zealand Patent No. 583,583
South African Patent No. 2010/00682
South African Patent No. 2010/01796
Patent pending

Table of Contents:**1 - Stormceptor EF Overview****2 - Stormceptor EF Operation, Components****3 - Stormceptor EF Model Details****4 - Stormceptor EF Identification****5 - Stormceptor EF Inspection & Maintenance****6 – Stormceptor Contacts**

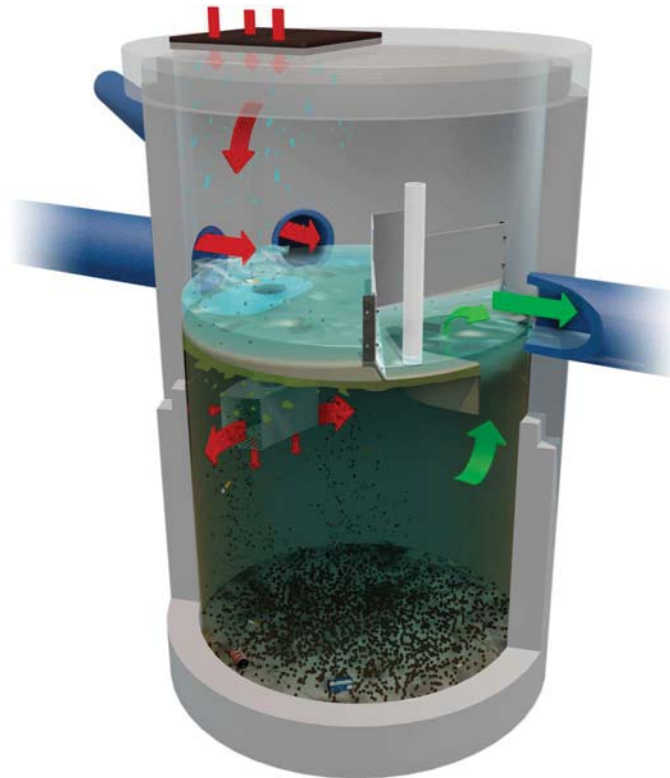
OVERVIEW

Stormceptor® EF is a continuation and evolution of the most globally recognized oil grit separator (OGS) stormwater treatment technology - **Stormceptor®**. Also known as a hydrodynamic separator, the enhanced flow Stormceptor EF is a high performing oil grit separator that effectively removes a wide variety of pollutants from stormwater and snowmelt runoff at flow rates higher than the original Stormceptor. Stormceptor EF captures and retains sediment (TSS), free oils, gross pollutants and other pollutants that attach to particles, such as nutrients and metals. Stormceptor EF's patent-pending treatment and scour prevention platform ensures sediment is retained during all rainfall events.

Stormceptor EF offers design flexibility in one simplified platform, accepting stormwater flow from a single inlet pipe, multiple inlet pipes, and/or from the surface through an inlet grate. Stormceptor EF can also serve as a junction structure, accommodate a 90-degree inlet to outlet bend angle, and be modified to ensure performance in submerged conditions. With its scour prevention and internal bypass, Stormceptor EF can be installed online, eliminating the need for costly additional bypass structures.

OPERATION

- Stormwater enters the Stormceptor upper chamber through the inlet pipe(s) or a surface inlet grate. A specially designed insert reduces the influent velocity by creating a pond upstream of the insert's weir. Sediment particles immediately begin to settle. Swirling flow sweeps water, sediment, and floatables across the sloped surface of the insert to the inlet opening of the drop pipe, where a strong vortex draws water, sediment, oil, and debris down the drop pipe cone.
- Influent exits the cone into the drop pipe duct. The duct has two large rectangular outlet openings as well as perforations in the backside and floor of the duct. Influent is diffused through these various opening in multiple directions and at low velocity into the lower chamber.
- Free oils and other floatables rise up within the channel surrounding the central riser pipe and are trapped beneath the insert, while sediment settles to the sump. Pollutants are retained for later removal during maintenance cleaning.
- Treated effluent enters the outlet riser, moves upward, and discharges to the top side of the insert downstream of the weir, where it flows out the outlet pipe.
- During intense storm events with very high influent flow rates, the pond height on the upstream side of the weir may exceed the height of the weir, and the excess flow passes over the top of the weir to the downstream side of the insert, and exits through the outlet pipe. This internal bypass feature allows for in-line installation, avoiding the cost of additional bypass structures. During bypass, the pond separates sediment from all incoming flows, while full treatment in the lower chamber continues at the maximum flow rate.
- Stormceptor EF's patent-pending enhanced flow and scour prevention technology ensures pollutants are captured and retained, allowing excess flows to bypass during infrequent, high intensity storms.



COMPONENTS

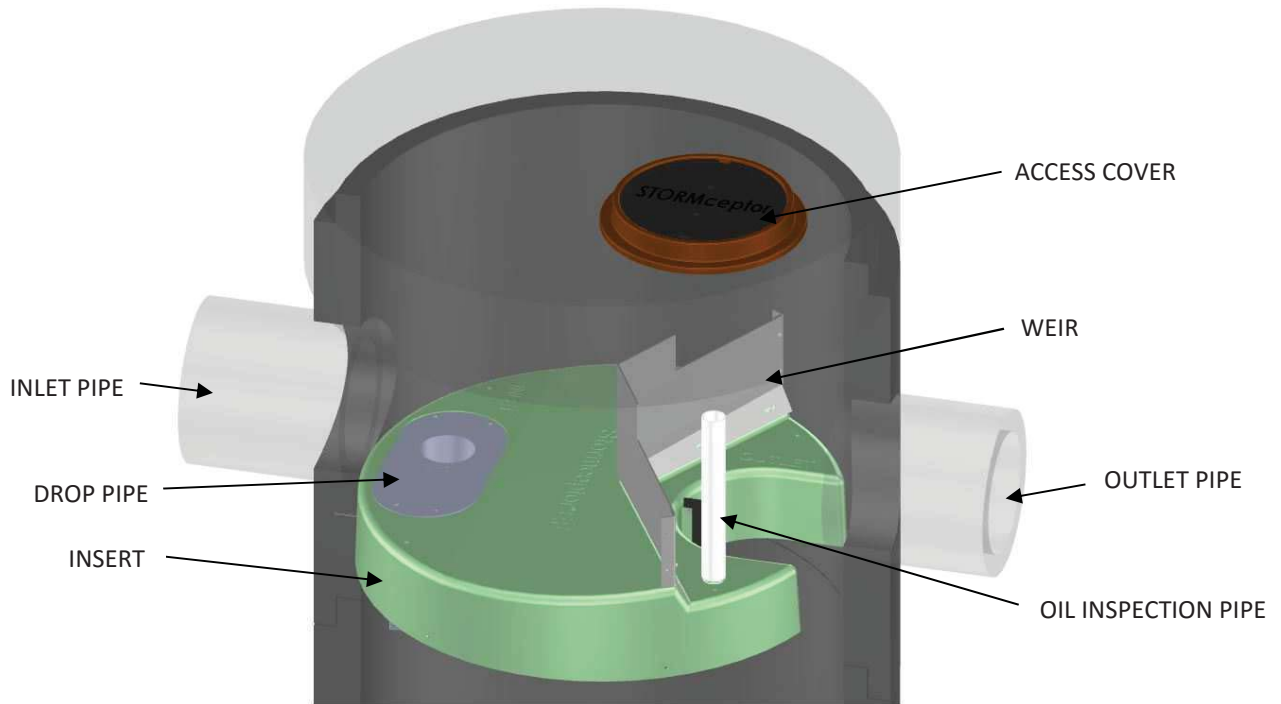


Figure 1

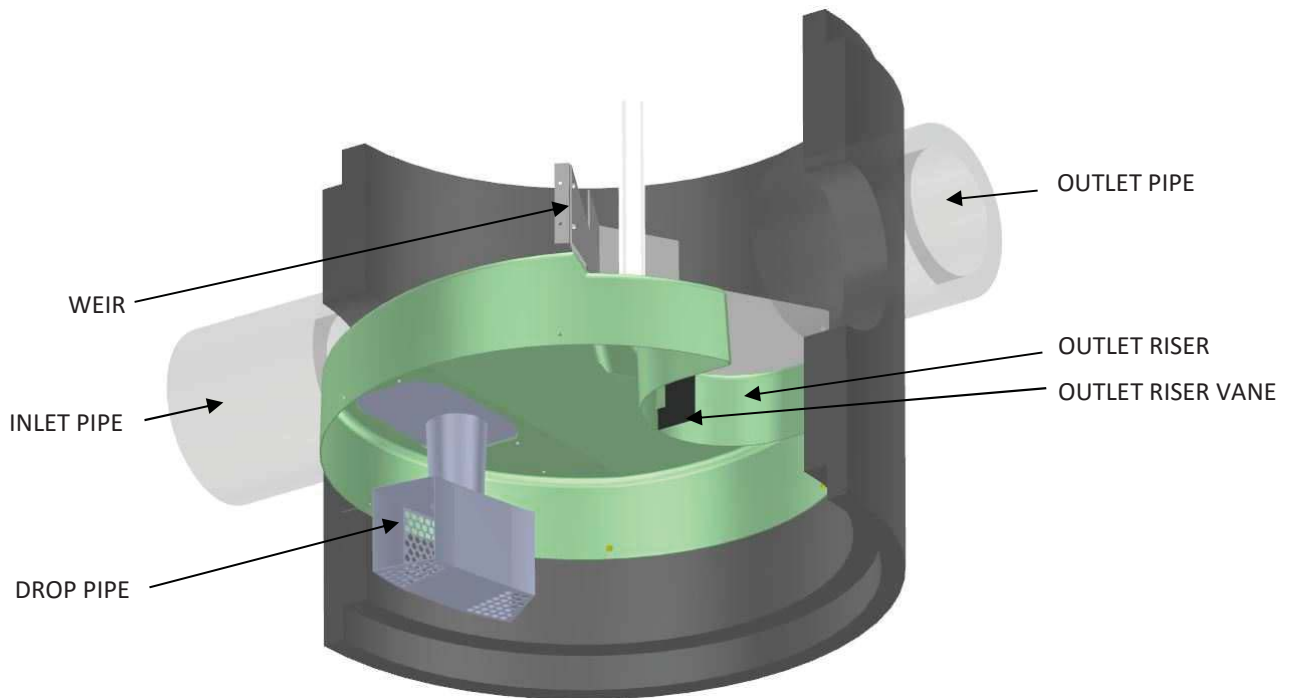


Figure 2

OUTLET PLATFORM (UP position)

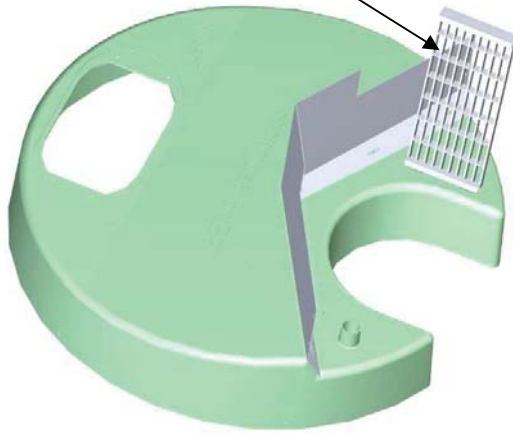


Figure 3A

OUTLET PLATFORM (DOWN position)

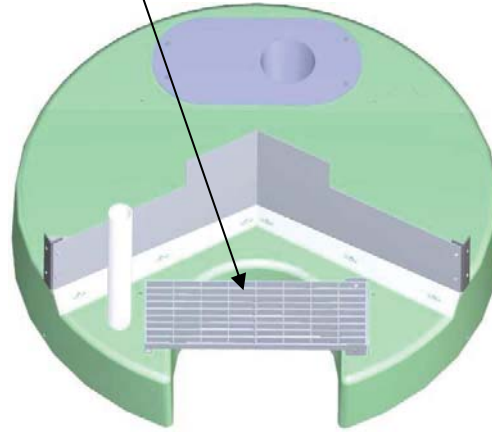


Figure 3B

- **Insert** – separates vessel into upper and lower chambers, and provides double-wall containment of hydrocarbons
- **Weir** – creates stormwater ponding and driving head on top side of insert
- **Drop pipe** – conveys stormwater and pollutants into the lower chamber
- **Outlet riser** – conveys treated stormwater from the lower chamber to the outlet pipe, and provides primary inspection and maintenance access into the lower chamber
- **Outlet riser vane** – prevents formation of a vortex in the outlet riser during high flow rate conditions
- **Outlet platform (optional)** – safety platform in the event of manned entry into the unit
- **Oil inspection pipe** – primary access for measuring oil depth

PRODUCT DETAILS

METRIC DIMENSIONS AND CAPACITIES

Table 1

| Stormceptor Model | Inside Diameter (m) | Minimum Surface to Outlet Invert Depth (mm) | Depth Below Outlet Pipe Invert (mm) | Wet Volume (L) | Sediment Capacity ¹ (m ³) | Hydrocarbon Storage Capacity ² (L) | Maximum Flow Rate into Lower Chamber ³ (L/s) | Peak Conveyance Flow Rate ⁴ (L/s) |
|-------------------|---------------------|---|-------------------------------------|----------------|--|---|---|--|
| EF4 / EFO4 | 1.22 | 915 | 1524 | 1780 | 1.19 | 265 | 22.1 / 10.4 | 425 |
| EF6 / EFO6 | 1.83 | 915 | 1930 | 5070 | 3.47 | 610 | 49.6 / 23.4 | 990 |
| EF8 / EFO8 | 2.44 | 1219 | 2591 | 12090 | 8.78 | 1070 | 88.3 / 41.6 | 1700 |
| EF10 / EFO10 | 3.05 | 1219 | 3251 | 23700 | 17.79 | 1670 | 138 / 65 | 2830 |
| EF12 / EFO12 | 3.66 | 1524 | 3886 | 40800 | 31.22 | 2475 | 198.7 / 93.7 | 2830 |

¹ Sediment Capacity is measured from the floor to the bottom of the drop pipe cone. Sediment Capacity can be increased to accommodate specific site designs and pollutant loads. Contact your local representative for assistance.

² Hydrocarbon Storage Capacity is measured from the bottom of the outlet riser to the underside of the insert. Hydrocarbon Storage Capacity can be increased to accommodate specific site designs and pollutant loads. Contact your local representative for assistance.

³ EF Maximum Flow Rate into Lower Chamber is based on a maximum surface loading rate (SLR) into the lower chamber of 1135 L/min/m². EFO Maximum Flow Rate into Lower Chamber is based on a maximum surface loading rate (SLR) into the lower chamber of 535 L/min/m².

⁴ Peak Conveyance Flow Rate is limited by a maximum velocity of 1.5 m/s.

U.S. DIMENSIONS AND CAPACITIES

Table 2

| Stormceptor Model | Inside Diameter (ft) | Minimum Surface to Outlet Invert Depth (in) | Depth Below Outlet Pipe Invert (in) | Wet Volume (gal) | Sediment Capacity ¹ (ft ³) | Hydrocarbon Storage Capacity ² (gal) | Maximum Flow Rate into Lower Chamber ³ (cfs) | Peak Conveyance Flow Rate ⁴ (cfs) |
|-------------------|----------------------|---|-------------------------------------|------------------|---|---|---|--|
| EF4 / EFO4 | 4 | 36 | 60 | 471 | 42 | 70 | 0.78 / 0.37 | 15 |
| EF6 / EFO6 | 6 | 36 | 76 | 1339 | 123 | 160 | 1.75 / 0.83 | 35 |
| EF8 / EFO8 | 8 | 48 | 102 | 3194 | 310 | 280 | 3.12 / 1.47 | 60 |
| EF10 / EFO10 | 10 | 48 | 128 | 6261 | 628 | 440 | 4.87 / 2.30 | 100 |
| EF12 / EFO12 | 12 | 60 | 153 | 10779 | 1103 | 655 | 7.02 / 3.31 | 100 |

¹ Sediment Capacity is measured from the floor to the bottom of the drop pipe cone. Sediment Capacity can be increased to accommodate specific site designs and pollutant loads. Contact your local representative for assistance.

² Hydrocarbon Storage Capacity is measured from the bottom of the outlet riser to the underside of the insert. Hydrocarbon Storage Capacity can be increased to accommodate specific site designs and pollutant loads. Contact your local representative for assistance.

³ EF Maximum Flow Rate into Lower Chamber is based on a maximum surface loading rate (SLR) into the lower chamber of 27.9 gpm/ft². EFO Maximum Flow Rate into Lower Chamber is based on a maximum surface loading rate (SLR) into the lower chamber of 13.1 gpm/ft².

⁴ Peak Conveyance Flow Rate is limited by a maximum velocity of 5 fps.

IDENTIFICATION

Each Stormceptor EF/EFO unit is easily identifiable by the trade name **Stormceptor®** embossed on the access cover at grade as shown in **Figure 3**. The tradename **Stormceptor®** is also embossed on the top of the insert upstream of the weir as shown in **Figure 3**.

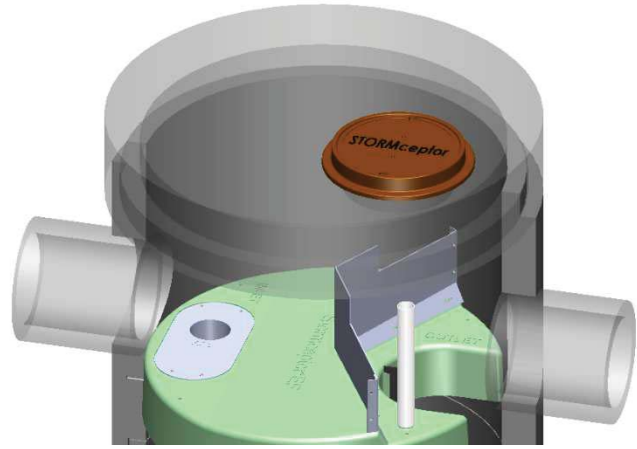


Figure 4

The specific Stormceptor EF/EFO model number is identified on the top of the aluminum Drop Pipe as shown in **Figure 4**. The unit serial number is identified on the top of the insert upstream of the weir as shown in **Figure 4**.

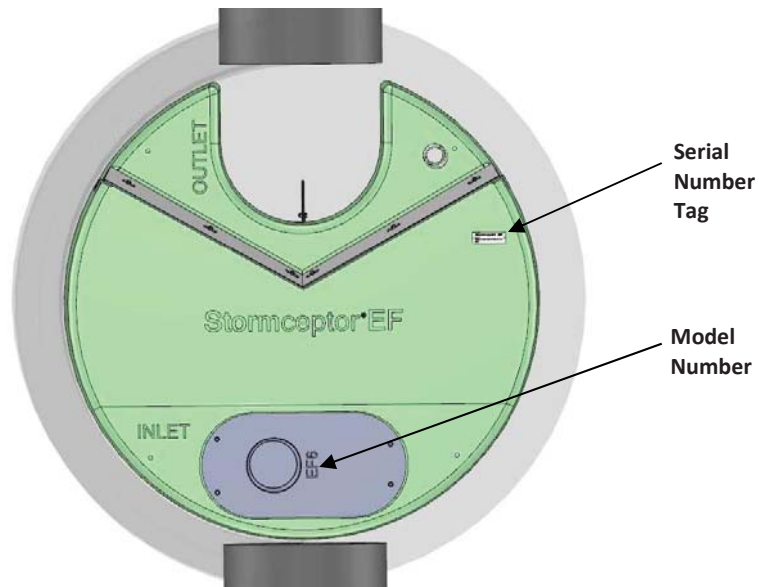


Figure 5

INSPECTION AND MAINTENANCE

It is very important to perform regular inspection and maintenance. Regular inspection and maintenance ensures maximum operation efficiency, keeps maintenance costs low, and provides continued of natural waterways.

Quick Reference

- Typical inspection and maintenance is performed from grade
- Remove manhole **cover(s)** or **inlet grate** to access insert and lower chamber
NOTE: EF4/EFO4 requires the removal of a **flow deflector** beneath inlet grate
- Use Sludge Judge® or similar sediment probe to check sediment depth through the **outlet riser**
- Oil dipstick can be inserted through the **oil inspection pipe**
- Visually inspect the **insert** for debris, remove debris if present
- Visually inspect the **drop pipe** opening for blockage, remove blockage if present
- Visually inspect **insert** and **weir** for damage, schedule repair if needed
- Insert vacuum hose and jetting wand through the outlet riser and extract sediment and floatables
- Replace flow deflector (EF4/EFO4), inlet grate, and cover(s)
- **NOTE:** If the unit has an **outlet platform**, the outlet platform is typically in the UP position (see Figure 3A) for normal treatment conditions, and for inspection and maintenance. If manned entry into the unit is required, the outlet platform must first be placed in the DOWN position (see Figure 3B). After manned entry is completed, return the outlet platform to the UP position for treatment.

When is inspection needed?

- Post-construction inspection is required prior to putting the Stormceptor into service.
- Routine inspections are recommended during the first year of operation to accurately assess pollutant accumulation.
- Inspection frequency in subsequent years is based on the maintenance plan developed in the first year.
- Inspections should also be performed immediately after oil, fuel, or other chemical spills.

What equipment is typically required for inspection?

- Manhole access cover lifting tool
- Oil dipstick / Sediment probe with ball valve (typically ¾-inch to 1-inch diameter)
- Flashlight
- Camera
- Data log / Inspection Report
- Safety cones and caution tape
- Hard hat, safety shoes, safety glasses, and chemical-resistant gloves

When is maintenance cleaning needed?

- If the post-construction inspection indicates presence of construction sediment of a depth greater than a few inches, maintenance is recommended at that time.
- For optimum performance and normal operation the unit should be cleaned out once the sediment depth reaches the recommended maintenance sediment depth, see **Table 3**.
- Maintain immediately after an oil, fuel, or other chemical spill.

Table 3

| Recommended Sediment Depths for Maintenance Service* | |
|---|-------------------------------|
| MODEL | Sediment Depth (in/mm) |
| EF4 / EFO4 | 8 / 203 |
| EF6 / EFO6 | 12 / 305 |
| EF8 / EFO8 | 24 / 610 |
| EF10 / EFO10 | 24 / 610 |
| EF12 / EFO12 | 24 / 610 |

* Based on a minimum distance of 40 inches (1,016 mm) from bottom of outlet riser to top of sediment bed

The frequency of inspection and maintenance may need to be adjusted based on site conditions to ensure the unit is operating and performing as intended. Maintenance costs will vary based on the size of the unit, site conditions, local requirements, disposal costs, and transportation distance.

What equipment is typically required for maintenance?

- Vacuum truck equipped with water hose and jet nozzle
- Small pump and tubing for oil removal
- Manhole access cover lifting tool
- Oil dipstick / Sediment probe with ball valve (typically ¾-inch to 1-inch diameter)
- Flashlight
- Camera
- Data log / Inspection Report
- Safety cones
- Hard hats, safety shoes, safety glasses, chemical-resistant gloves, and hearing protection for service providers
- Gas analyzer, respiratory gear, and safety harness for specially trained personnel if confined space entry is required (adhere to all OSHA / CCOSH standards)

What conditions can compromise Stormceptor performance?

- Presence of construction sediment and debris in the unit prior to activation
- Excessive sediment depth beyond the recommended maintenance depth
- Oil spill in excess of the oil storage capacity
- Clogging or restriction of the drop pipe inlet opening with debris
- Downstream blockage that results in a backwater condition

Maintenance Procedures

- Maintenance should be conducted during dry weather conditions when no flow is entering the unit.
- Stormceptor is maintained from grade through a standard surface manhole access cover or inlet grate.
- In the case of submerged or tailwater conditions, extra measures are likely required, such as plugging the inlet and outlet pipes prior to conducting maintenance.
- Inspection and maintenance of upstream catch basins and other stormwater conveyance structures is also recommended to extend the time between future maintenance cycles.
- Sediment depth inspections are performed through the **Outlet Riser** and oil presence can be determined through the **Oil Inspection Pipe**.
- Oil presence and sediment depth are determined by inserting a Sludge Judge® or measuring stick to quantify the pollutant depths.

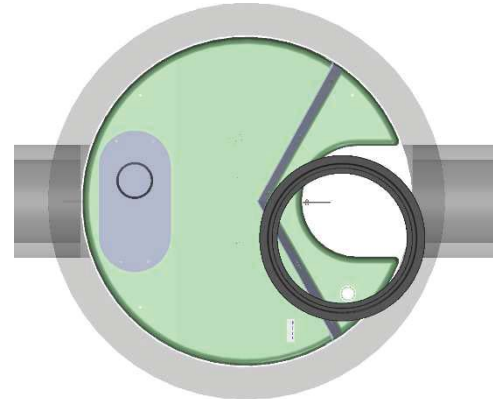


Figure 6

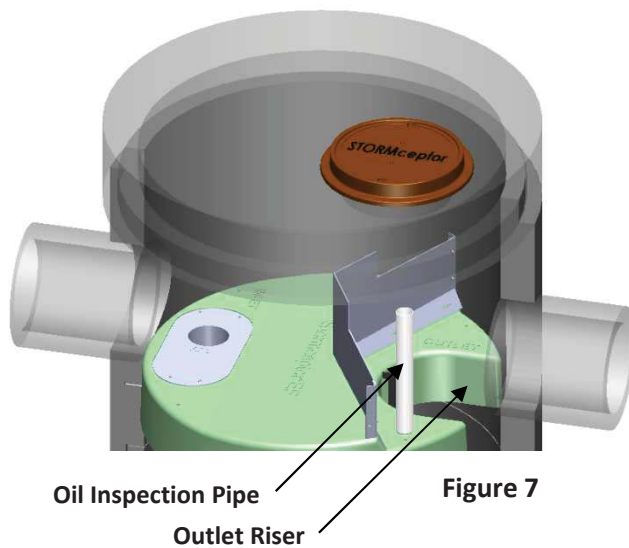


Figure 7



Figure 8

- Visually inspect the insert, weir, and drop pipe inlet opening to ensure there is no damage or blockage.
- **NOTE:** If the unit has an **outlet platform**, the outlet platform is typically in the UP position (see Figure 3A) for normal treatment conditions, and for inspection and maintenance. If manned entry into the unit is required, the outlet platform must first be placed in the DOWN position (see Figure 3B). After manned entry is completed, return the outlet platform to the UP position for treatment.

- When maintenance is required, a standard vacuum truck is used to remove the pollutants from the lower chamber of the unit through the **Outlet Riser**.



Figure 9

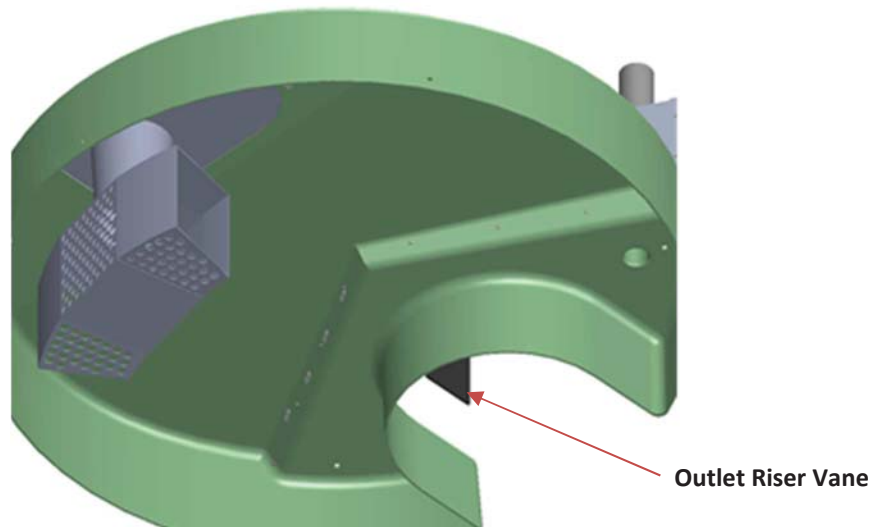


Figure 10

NOTE: The Outlet Riser Vane is durable and flexible and designed to allow maintenance activities with minimal, if any, interference.

Removable Flow Deflector

- Top grated inlets for the Stormceptor EF4/EFO4 model requires a removable flow deflector staged underneath a 24-inch x 24-inch (600 mm x 600 mm) square inlet grate to direct flow towards the inlet side of the insert, and avoid flow and pollutants from entering the outlet side of the insert from grade. The EF6/EFO6 and larger models do not require the flow deflector.

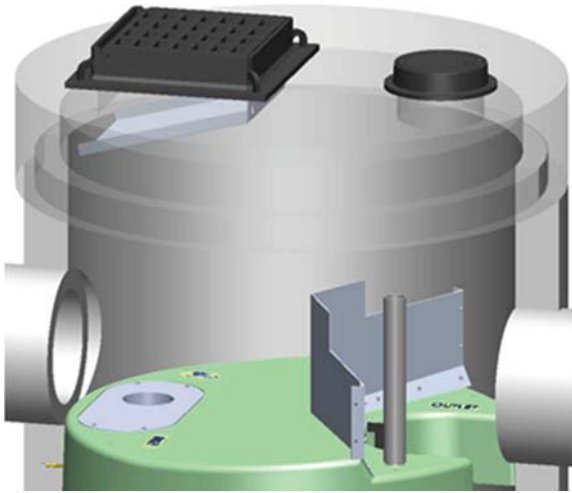
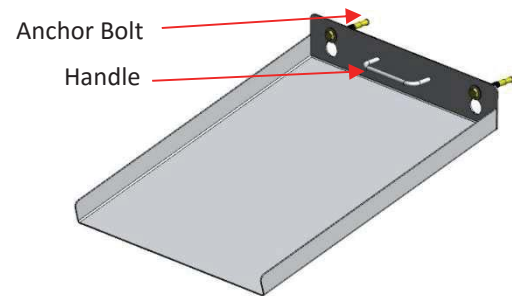


Figure 11

How to Remove:

1. Loosen anchor bolts
2. Pull up and out using the handle



Removable Flow Deflector

Hydrocarbon Spills

Stormceptor is often installed on high pollutant load hotspot sites with vehicular traffic where hydrocarbon spill potential exists. Should a spill occur, or presence of oil be identified within a Stormceptor EF/EFO, it should be cleaned immediately by a licensed liquid waste hauler.

Disposal

Maintenance providers are to follow all federal, state/ provincial, and local requirements for disposal of material.

Oil Sheens

When oil is present in stormwater runoff, a sheen may be noticeable at the Stormceptor outlet. An oil rainbow or sheen can be noticeable at very low oil concentrations (< 10 mg/L). Despite the appearance of a sheen, Stormceptor EF/EFO may still be functioning as intended.

Oil Level Alarm

To mitigate spill liability with 24/7 detection, an electronic monitoring system can be employed to trigger a visual and audible alarm when a pre-set level of oil is captured within the lower chamber or when an oil spill occurs. The oil level alarm is available as an optional feature to include with Stormceptor EF/EFO as shown in **Figure 11**. For additional details about the Oil Level Alarm please visit <http://www.imbriumsystems.com/stormwater-treatment-solutions/stormceptor-systems>.

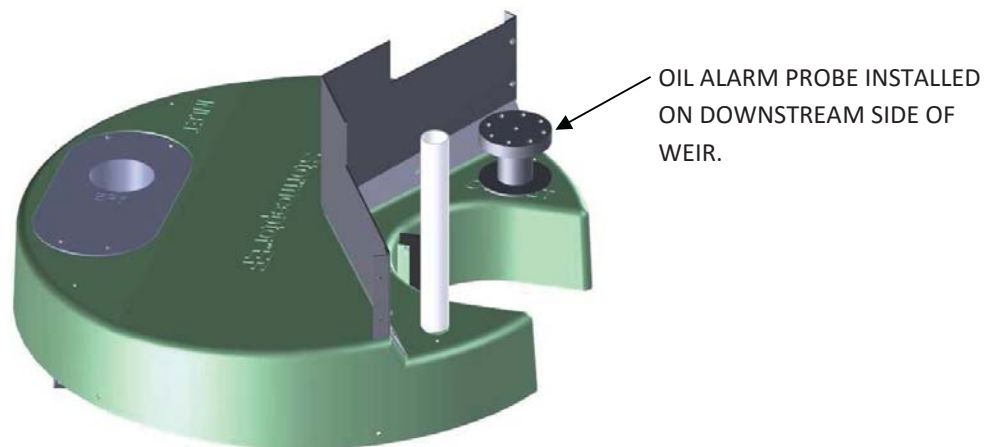


Figure 12

Replacement Parts

Stormceptor has no moving parts to wear out. Therefore inspection and maintenance activities are generally focused on pollutant removal. Since there are no moving parts during operation in a Stormceptor, broken, damaged, or worn parts are not typically encountered. However, if replacement parts are necessary, they may be purchased by contacting your local Stormceptor representative.

Contact Information

Questions regarding Stormceptor EF/EFO can be addressed by contacting your local Stormceptor representative or by visiting our website at www.stormceptor.com.

Imbrium Systems Inc. & Imbrium Systems LLC

Canada 1-416-960-9900 / 1-800-565-4801
United States 1-301-279-8827 / 1-888-279-8826
International +1-416-960-9900 / +1-301-279-8827

www.imbriumsystems.com

www.stormceptor.com

info@imbriumsystems.com

Appendix F
Fire Flow Calculation

TABLE 1: Fire Flow Calculation as per FIRE FLOW CALCULATION as per FIRE UNDERWRITERS SURVEY (1999)

PROJECT: 8092 Highway 62
Township of Thurlow

1. Fire Flow Equation

$$F = 220 C \sqrt{A}$$

where F is the required fire flow [LPM]
C is the coefficient determined by type of construction [unitless]
A is the total protection area [sq.m]

2. Architecture Information

| | | |
|----------------------------------|----------------|-----------------------|
| Type of Construction | Fire-resistive | |
| Fire Rating, Vertical Separation | Inadequate | |
| Sprinkler Provided (Y/N) | No | |
| Total Floor Area [sq.m] | 260 | |
| Coefficient, C [1] | 0.8 | |
| Fire Flow, F [LPM] | 2839 | |
| Fire Flow, F [LPM] | 3000 | Round to nearest 1000 |

3. Occupancy Reduction

| | | |
|----------------------|------|---------------------|
| Occupancy Adjustment | 0.85 | Limited Combustible |
| Fire Flow, F [LPM] | 2550 | |

4. Sprinkler Reduction

| | |
|---------------------------|------|
| Sprinkler Reduction | 0.00 |
| Sprinkler Reduction [LPM] | 0 |

5. Exposure Adjustment

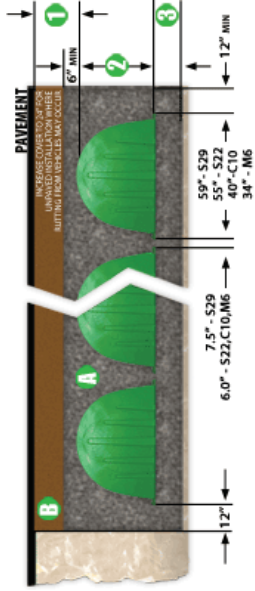
| | |
|---------------------------|-----------|
| North | 5% |
| East | 0% |
| South | 0% |
| West | 0% |
| Total | 5% |
| Exposure Adjustment [LPM] | 128 |

6. Required Fire Flow, Duration & Volume

| | | |
|----------------------------------|--------------|-----------------------|
| Fire Flow, F [LPM] | 2550 | |
| Sprinkler Reduction [LPM] | 0 | |
| Exposure Adjustment [LPM] | 128 | |
| Required Fire Flow [LPM] | 2678 | |
| Required Fire Flow [LPM] | 3000 | Round to nearest 1000 |
| Required Fire Flow [LPS] | 50 | |
| Req. Duration of Fire Flow [hrs] | 1.0 | |
| Req. Storage [cubic.m] | 180.0 | |

Appendix G
Stormwater Chamber

Project Results



- 1 Total Cover Over Chambers: 451 mm
 - 2 Height Of Chamber: 445 mm
 - 3 Embedment Stone Under Chambers: 151 mm
 - 4 Volume of Embedment Stone Required: 64 Cu. m
 - 5 Volume of Fill Material Required: 35 Cu. m
- Total Storage Provided: 47 Cu. m
- Type Of Chambers: M-6
- # Of Chambers Required: 128
- # Of End Caps Required: 10
- Required Bed Size: 114 Sq. m
- Volume of Excavation: 120 Cu. m
- * Area of Filter Fabric: 159 Sq. m
- # of Chambers Long: 31
- # of rows: 4
- Actual Trench Length: 25.42 m
- Actual Trench Width: 4.48 m

* Filter Fabric quantity for Fabric on Top and Sides of System Only, does not include overlap

Parameters

Units: Metric

Storage Volume: 45 Cu m

Chamber Selection: M-6

Header Row Position: Left

Fill Over Embedment Stone: 300 mm

Controlled By: width 5.5 m

Embedment Stone mm:

Over: 150 Under: 150 Porosity: 0.4

Min 150mm over and under

Double Stacked

Double Stacked?: No

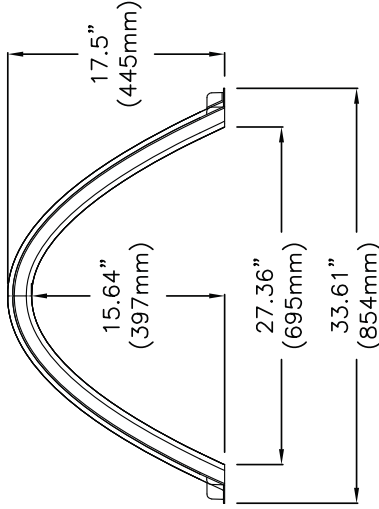
Stone Between: 304.80

Note: After making an input change you must hit calculate to update the Field Diagram and Project Results.

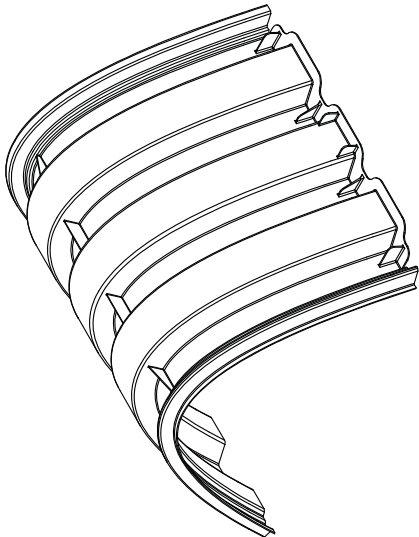
* The image generation will not save if using MicroSoft Edge

| M-6 CHAMBER SPECS | |
|---|--|
| NOMINAL DIMENSIONS (LAYOUT LENGTH X WIDTH X HEIGHT) | 29.58" X 33.61" X 17.5" (751mm X 854mm X 445mm) |
| BARE CHAMBER STORAGE | 5.6 CUBIC FEET (0.159 CUBIC METERS) |
| *MIN INSTALLED STORAGE | 11.36 CUBIC FEET (0.322 CUBIC METERS) |
| CHAMBER WEIGHT | 14 lbs (6.35 kg) |
| STORAGE PER LINEAR FOOT WITHOUT STONE | 2.27 CUBIC FEET (0.064 CUBIC METERS) |
| STORAGE PER LINEAR FOOT WITH STONE | 4.61 CUBIC FEET (0.131 CUBIC METERS) |
| *ASSUMING A MIN OF 6" (152mm) STONE ABOVE AND BELOW AND 6" (152mm) BETWEEN ROWS WITH 40% STONE POROSITY (DOES NOT INCLUDE 12" (305mm) PERIMETER STONE VOLUME) | |

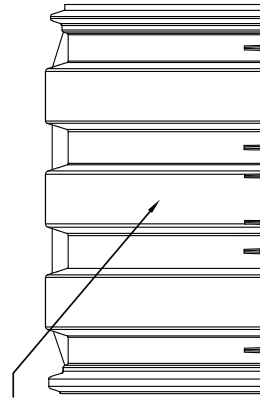
NOTE: M-6 CHAMBER DETAILS TESTED AND RATED FOR H-30 LOAD
CONDITIONS WITH 18" (457mm) OF COVER AND NO
PAVEMENT.



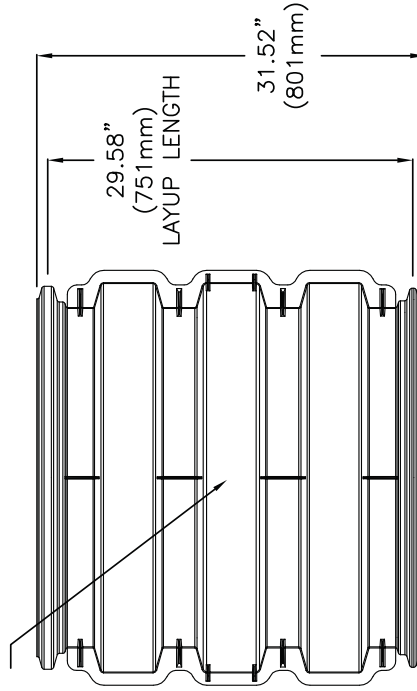
ø8" (200mm)
MAX O.D. FOR
SIDE CONNECTION



ø12" (300mm)
MAX O.D. FOR
TOP CONNECTION



3.60" (91mm)
2x4 SPACER SLOT TO HELP
KEEP CHAMBER ROWS STRAIGHT



CONCEPTUAL PLAN DISCLAIMER
THIS GENERIC DETAIL DOES NOT ENCOMPASS THE SIZING, FIT, AND
APPLICABILITY OF THE TRITON CHAMBER SYSTEM FOR THIS SPECIFIC
PROJECT. IT IS THE ULTIMATE RESPONSIBILITY OF THE DESIGN ENGINEER
TO ASSURE THAT THE STORMWATER SYSTEM DESIGN IS IN FULL
COMPLIANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. TRITON
PRODUCTS MUST BE DESIGNED AND INSTALLED IN ACCORDANCE WITH
TRITON'S MINIMUM REQUIREMENTS. TRITON STORMWATER
SOLUTIONS DOES NOT APPROVE PLANS, SIZING, OR SYSTEM DESIGNS.
THE DESIGN ENGINEER IS RESPONSIBLE FOR ALL DESIGN DECISIONS.



7600 EAST GRAND RIVER, STE. 195
BRIGHTON, MI 48114
PHONE: (810) 222-7652 • FAX: (810) 222-1769
WWW.TRITONSWS.COM



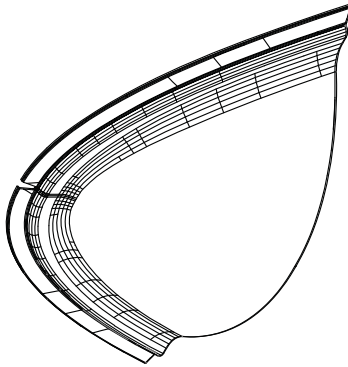
M-6 CHAMBER DETAIL

TRITON - STANDARD DETAILS

REVISED:
02-26-16 JWM

| M-6 END CAP SPECS | |
|---|--|
| NOMINAL DIMENSIONS (LAYUP LENGTH X WIDTH X HEIGHT) | 7.18" X 30.60" X 17.03" (183mm X 777mm X 432mm) |
| BARE END CAP STORAGE | 0.533 CUBIC FEET (0.015 CUBIC METERS) |
| *MIN INSTALLED STORAGE | 2.26 CUBIC FEET (0.064 CUBIC METERS) |

* ASSUMING A MIN OF 6" (152mm) STONE ABOVE AND BELOW AND 6" (152mm) BETWEEN ROWS WITH 40% STONE POROSITY (DOES NOT INCLUDE 12" (305mm) PERIMETER STONE VOLUME)

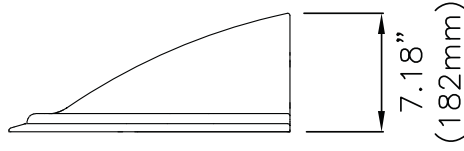
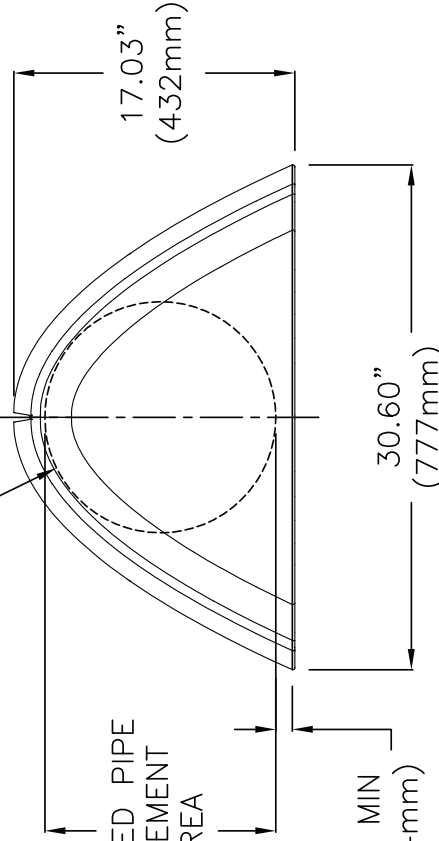


Ø14" (350mm) MAX O.D.
FOR END CONNECTION

ALL PIPE CONNECTIONS
MUST BE INSTALLED ALONG
CHAMBER CAP CENTERLINE.

ALLOWED PIPE
PLACEMENT
AREA

1.0" MIN
(25.4mm)



THE END CAP FITS UP INSIDE THE LAST
CONNECTING RIBS OF THE M-6 CHAMBER

CONCEPTUAL PLAN DISCLAIMER
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APPLICABILITY OF THE TRITON CHAMBER SYSTEM FOR THIS SPECIFIC
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BRIGHTON, MI 48114
PHONE: (810) 222-7652 • FAX: (810) 222-1769
WWW.TRITONSW.COM



M-6 CHAMBER END CAP DETAIL

TRITON - STANDARD DETAILS

REVISED:
02-26-16 JWM



STANDARD
FOR PATTERNS, LOADS & CONDITIONS
RECOMMENDED
CRUSHED, ANGULAR STONE
ASHTO M88 CLASS 2
NONWOVEN GEOTEXTILE

**Power
Over Water™**

Triton Stormwater Solutions Main Header Row™ O&M Manual

Introduction

An important component of any Stormwater Pollution Prevention Plan is inspection and maintenance. The Triton Stormwater Solutions Main Header Row™ is a patent pending

ing technique to inexpensively enhance enhance Total Suspended Solids (TSS) removal and provide easy access for inspection and maintenance.

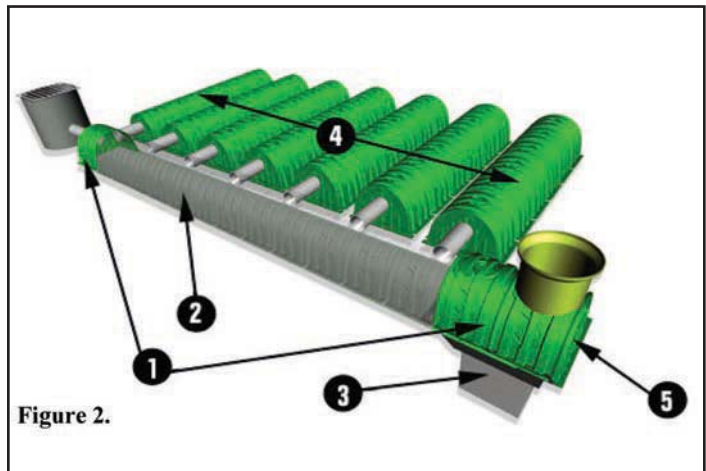
The Main Header Row™

The Main Header Row is comprised of many Triton SWS' chambers that sit on interconnecting sediment floors that are connected to a nearby manhole for easy access. At the end of the Main Header Row there is room for an optional Sump Basin Assembly (shown as item 3 in Figure 2) to help collect and contain any sediment that is flushed out of the Main Header Row during a rain event or maintenance cleaning. The Sump Basin Assembly can be accessed from above via a manhole or up to a 33" (538.2mm) diameter stand pipe. The Main Header Row feeds the distribution rows (shown as item 4 in Figure 2) via a feed or distribution pipe. The feed pipe is at an elevated invert height so the water in the Main Header Row must rise to the invert height before flowing into the distribution rows to capture the sediment in the Main Header Row. The Main Header Row protects the distribution chamber row storage areas from any sediment accumulation. This preserves the infiltration rate

of the area where the distribution rows are installed, allowing the system to perform at the rate for which it was designed.

The sediment floors are designed to prevent scouring of the underlying stone and to stop sediment infiltration into the ground under the Main Header Row. The sediment floors lock together and mate with the chambers so they will remain intact during very high flow events and during high pressure cleaning.

The Main Header Row is typically designed to capture the "first flush" and offers the versatility to be sized on a volume or flow rate basis. An upstream manhole not only provides access to the Main Header Row but typically includes a high flow outlet that controls excessive storm water flow rates or volumes by discharging overflow into surrounding stone or through a manifold to the other Main Header Row chambers.



The Main Header Row may also be part of a treatment train. By treating storm water prior to entry into the Main Header Row system, service life can be extended and pollutants, such as hydrocarbons, can be captured. Pre-treatment best management practices can be as simple as deep sump catch basins and oil-water separators or as innovative as storm water treatment devices. The design of the treatment train and selection of pre-treatment devices by the design engineer are often driven by regulatory requirements. Whether pre-treatment is employed or not, the Main Header Row is recommended by Triton SWS as an effective means of minimizing maintenance requirements and costs.

Main Header Row™ Inspection

The frequency of inspection and maintenance varies by location. A routine inspection schedule needs to be established for each individual location based on site-specific variables. The type of land use — industrial, commercial, residential — anticipated pollutant load, percent imperviousness, climate and so on all play a critical role in determining the actual frequency of inspection and maintenance practices.

At a minimum, Triton SWS recommends annual inspections. The Main Header Row should be inspected every 6 months for the first year of operation. In subsequent years, the inspection should be adjusted based on previous observation of sediment deposits.

The Main Header Row incorporates a combination of standard manhole(s) and strategically located inspection ports. The inspection ports allow for easy access to the system from the surface, eliminating the need to perform a confined space entry for inspection purposes.

If, upon visual inspection, it is found that sediment has accumulated, a stadia rod should be inserted to determine sediment depth. When the average depth of sediment exceeds 11" (279.4mm) in the bottom of the Sump Basin and/or if there is 3" (76.2mm) throughout the length of the Main Header Row, the Sump Basin and Main Header Row should be cleaned.



Main Header Row™ Maintenance

The Main Header Row was designed to reduce the cost of periodic maintenance. By capturing sediment in just one row, costs are dramatically reduced by eliminating the need to clean each row along the storage bed. If inspection indicates the need for maintenance, access is provided via a manhole(s) located on the end of the Main Header Row. If entry into the manhole is required, please follow local and OSHA rules for confined space entries. The inside dimensions of the Triton SWS Main Header Row chambers measure 34" (863.6mm) tall by 48" (1219.2mm) wide.



Maintenance is accomplished by removing the sediment that has built up in the Sump Basin using a standard vacuum truck as shown to the right. The Triton SWS' Main Header Row system was designed for easy access to the Sump Basin via a manhole/inspection port or up to a 33" (838.2mm) diameter pipe. There is no special process required to clean out the

Sump Basin and the Main Header Row. They can be cleaned using a JetVac process or can be cleaned using a water tank truck or fire truck equipped with a hose to flush the sediment to the Sump Basin. To use a water tanker or fire truck, simply insert the hose into the upstream catch basin structure and flush the sediment to the end of the Main Header Row where the Sump Basin is located. If the Sump Basin is located close to the inlet, vacuum out the sediment first and then back flush the Main Header Row into the Sump Basin.

NOTE: The JetVac or high pressure hose process should only be performed on the Main Header Row where the Triton SWS' Sediment Floor System has been installed, and only if there is 3" (76.2mm) of sediment throughout the length of the Main Header Row.





Main Header Row™ Step-by-Step Maintenance Procedures

Step 1. Inspect Sump Basin and Main Header Row for sediment

A. Inspection ports (if present)

- i. Remove lid from floor box frame
- ii. Remove cap from inspection riser
- iii. Using a flashlight and stadia rod, measure depth of sediment in the Sump Basin and record results in the maintenance log
- iv. If sediment is at- or above- 11" (279.4mm) depth, proceed to Step 2. If not, proceed to step 3.

B. All Main Header Rows

- i. Remove cover from manhole at upstream end of Main Header Row
- ii. Using a flashlight, inspect the Main Header Row through outlet pipe and through each distribution pipe that is connected in between the Main Header Row and the distribution row of chambers
- iii. If sediment is at- or above- 11" (279.4mm) mark in the sump bin, proceed to Step 2

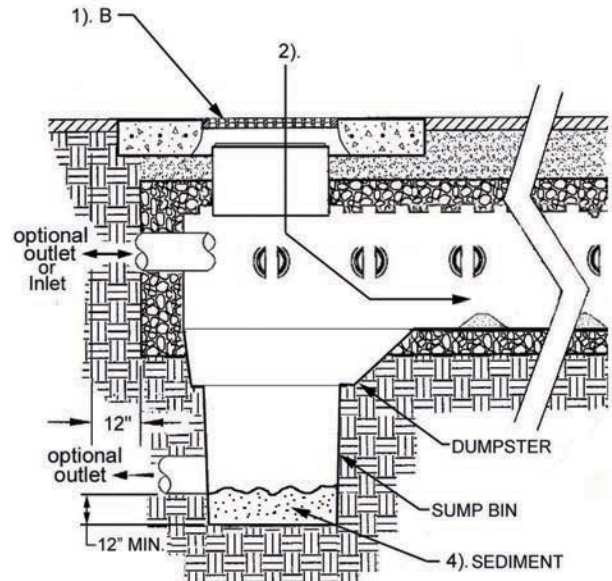
1. Be sure to have proper footing when entering into Main Header Row
2. Follow OSHA regulations for confined space entry if entering Main Header Row
If not, proceed to Step 3

Step 2. Clean out the Sump Basin with a vacuum truck

- A. Remove any secondary filtration media that may be installed in the Sump Basin
- B. Vacuum Sump Basin as required

Step 3. Replace all caps, lids, and covers Record observations and actions

Step 4. Inspect and clean catch basins and man-holes upstream of the Triton SWS system



Sample Maintenance Log

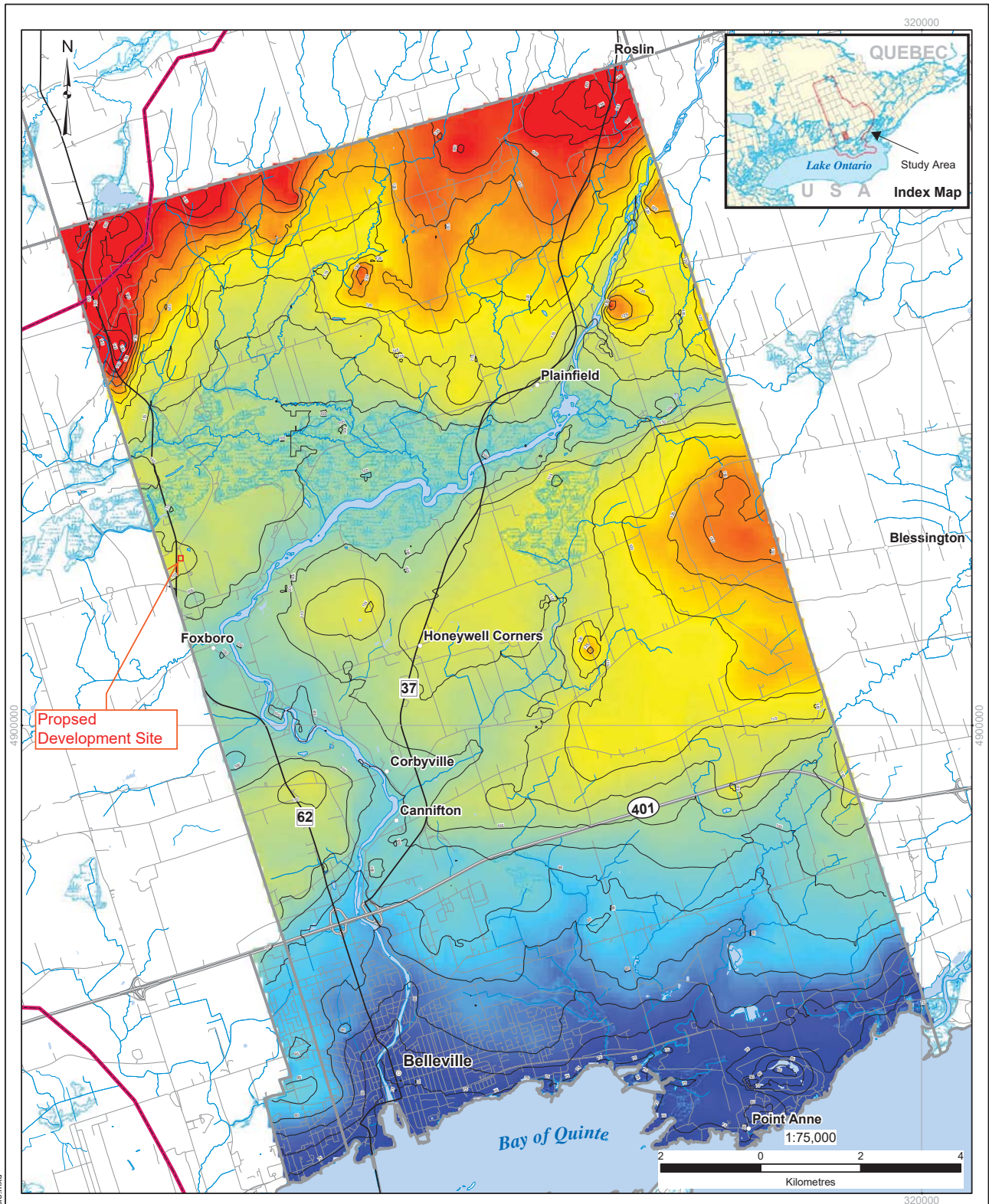
| Date | Stadia Rod Readings | | Sediment Depth (1)-(2) | Observations/Actions | Inspector |
|------------|-----------------------------------|--------------------------------|------------------------|--|-----------|
| | Fixed point to chamber bottom (1) | Fixed point to chamber top (2) | | | |
| 4/11/2007 | 9.7 ft. (2.95656m) | None | | New installation. Fixed point is J1 frame at grade | KET |
| 10/21/2007 | | 9.6 | 0.1 ft. (.03048m) | Very little sediment in system - No maintenance required | GKT |
| 4/11/2008 | | 9.4 | 0.3 ft. (.19144m) | Very little sediment in system - No maintenance required | CMM |
| 7/25/2008 | | 9.1 | 0.6 ft. (.18288m) | Some debris/sediment is visible in sump basin assembly but not interfering with outlet | LEJ |
| 7/20/2009 | | 8.7 | 1.0 ft. (.30480m) | Some debris/sediment is visible in sump basin assembly - maintenance is due | DLC |
| 8/20/2010 | 9.7 ft. (2.95656m) | | 0 | System has cleaned and vacuumed - very easy system to clean | NAT |

LIFETIME SYSTEM WARRANTY

810-222-7652 | tritonsws.com

9864 E. Grand River • Suite 110-176
Brighton, Michigan 48116

Appendix H
Water Table Map



G:\Projects\2003\031-119\004_Quinte\GIS\MXD\City of Belleville_waterable.mxd

Digital Mapping Sources:
Base Mapping Features - CANMAP v5.0,
MOE NRVIS data

Disclaimer: Only georeferenced data provided at the time of the report is shown. Both georeferenced and non-georeferenced data is in the digital database. The completeness and positional accuracy of the plotted data is variable. Some locations may appear in duplicate. The map should only be interpreted in conjunction with the accompanying written report.

Date: August 2004 © 2004 Queen's Printer for Ontario



Legend

- ⊙ Major Population Centres
- Communities
- Expressways
- Highways
- Rivers
- Lakes
- Contours Interval 5m
- Wetlands
- Quinte Conservation Area
- Water Table (masl)
High : 160
Low : 75

UTM Zone 18, NAD 83

masl: Metres above sea level

City of Belleville Water Table Map
Quinte Regional Groundwater Study



| | |
|-----------------------|--------------------|
| APPROVAL BLOCK | |
| DE & DS | <i>SA</i> |
| MPP | <i>Andrew Chan</i> |

CITY OF BELLEVILLE
Andrew Chan, Policy Planner
Engineering and Development Services Department
Report No. PP-2020-18
June 1, 2020

To: Belleville Planning Advisory Committee

Subject: Notice of Complete Application and Introductory Public Meeting for Application for Proposed Amendment to Zoning By-Law Number 3014, As Amended
Millennium Parkway, Part of Lots 29 & 30, Plan 22, Part 6, Plan 21R20584, City of Belleville
OWNER: 2737778 Ontario Ltd.
APPLICANT: Sunny Punia

File: B-77-1105

Recommendation:

"That Report No. PP-2020-18 dated June 1, 2020 regarding Notice of Complete Application and Introductory Public Meeting for Application for Proposed Amendment to Zoning By-Law Number 3014, As Amended – Millennium Parkway, Part of Lots 29 & 30, Plan 22, Part 6, Plan 21R-20584, City of Belleville, County of Hastings be received as information, and;

That Staff report back at such time as input from the public, commenting agencies, and municipal departments has been received, assessed, and addressed to the satisfaction of the Engineering and Development Services Department."

Background:

An application for Millennium Parkway, Part of Lots 29 & 30, Plan 22, Part 6, Plan 21R-20584 was received by the City of Belleville on March 4, 2020. The subject land is identified on the attached Location and Existing Zoning Map (Attachment #1).

The initial public meeting is held in accordance with the requirements of the Planning Act. The purpose of this meeting is for Committee Members to formally hear and receive public comments. The intent of this statutory public planning meeting is to receive public feedback and incorporate it into a recommendation report from Staff.

The Applicant is proposing to rezone the subject land from Service Industrial (SI-2-h) Zone to Highway Commercial (C1) Zone with special provisions for relief to the minimum front yard setback, maximum building height, minimum landscaping strip, and minimum parking space width. The proposed zoning is shown on the Proposed Zoning Map (Attachment #2).

Site details for the subject land:

| Site Review | Description |
|---|---|
| Site Location | The subject land is known as Millennium Parkway, Part of Lots 29 & 30, Plan 22, Part 6, Plan 21R20584 which is located on the north side of Millennium Parkway, west of Highway 62, and east of Sidney Street North |
| Site Size | ~0.61 ha |
| Present Use | Vacant |
| Proposed Use | Hotel |
| Belleville Official Plan Designation | Commercial |
| Present Zone Category | Service Industrial (SI-2-h) Zone |
| Proposed Zone Category | Highway Commercial (C1) Zone with special provisions for relief on the minimum front yard setback, maximum building height, minimum landscaping strip, and minimum parking space width |
| Land uses to the north | Residential |
| Land uses to the east | Hastings-Quinte Paramedic Services |
| Land uses to the south | Vacant |
| Land uses to the west | Office |

In support of the application, the following was submitted:

- Architectural Drawings (Attachment #4);
- Civil Drawings (Attachment #5);
- Landscape Drawings (Attachment #6);
- Photometrics Drawings (Attachment #7);
- A Survey (Attachment #8);
- A Planning Justification Report (Attachment #9);
- A Stormwater Management Report and Functional Servicing Study (Attachment #10);
- 3D Views (Attachment #11); and
- A Google Street View Image (Attachment #12).

These documents are available online for public review at www.belleville.ca/DevelopmentApplications.

Proposal

The Applicant is proposing to rezone the subject land from Service Industrial

(SI-2-h) Zone to Highway Commercial (C1) Zone with special provisions to facilitate a hotel development. The special provisions would provide relief to the minimum front yard, maximum building height, minimum landscaping strip, and minimum parking space width provisions for the Highway Commercial (C1) Zone. The proposed zoning is shown on the Proposed Zoning Map (Attachment #2).

Provincial Policy Statement

Municipalities are required to ensure all decisions related to land use planning matters shall be consistent with the Provincial Policy Statement.

Planning Staff will consider the following policies in the PPS:

- 1.1.1 Healthy, livable and safe communities are sustained by:
 - a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;
 - e) promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;
- 1.1.3.1 Settlement areas shall be the focus of growth and development.
- 1.1.3.2 Land use patterns within settlement areas shall be based on densities and a mix of land uses which:
 - a) efficiently use land and resources;
 - b) are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;
 - c) minimize negative impacts to air quality and climate change, and promote energy efficiency;
 - e) support active transportation;
 - f) are transit-supportive, where transit is planned, exists or may be developed.
- 1.1.3.4 Appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form, while avoiding or mitigating risks to public health and safety.
- 1.3.1 Planning authorities shall promote economic development and competitiveness by:
 - a) providing for an appropriate mix and range of employment

and institutional uses to meet long-term needs;

b) providing opportunities for a diversified economic base, including maintaining a range and choice of suitable sites for employment uses which support a wide range of economic activities and ancillary uses, and take into account the needs of existing and future businesses;

c) encouraging compact, mixed-use development that incorporates compatible employment uses to support liveable and resilient communities; and

d) ensuring the necessary infrastructure is provided to support current and projected needs.

Official Plan

The current Official Plan was adopted by City Council on June 18, 2001 and approved by the Ministry of Municipal Affairs and Housing on January 7, 2002. Since 2002, a significant number of new and updated policies and legislation have occurred at the provincial level. The City is currently undertaking a Municipal Comprehensive Review and update to the policies of the Official Plan to ensure they comply with current provincial policies and legislation. The City will have to comply with the province's new legislation, regulations, and policies when updating the Official Plan.

The land is designated "Commercial" in the City's Official Plan (Attachment #3 – Official Plan Designation Map). Planning Staff use the policies within the Official Plan to make recommendations.

The following policies regarding the Commercial Land Use will be considered:

- Commercial development is dependent upon vehicular access. Points of ingress and egress should be established to ensure safe movement of:
 - vehicular traffic on the public street;
 - vehicular traffic on the subject and adjoining lands; and
 - pedestrian and cyclist traffic along the street.Further, commercial development should have sufficient parking on-site to meet the needs of customers and staff.
- The following design policies should be applied to all commercial development:
 - Outdoor storage areas for garbage should be fenced or screened from adjacent uses and preferably located away from the public street.
 - The appearance of parking lots, loading facilities and service areas should be enhanced through appropriate landscaping, with appropriate lighting of such areas to ensure public safety, which should be oriented away from nearby residential properties and not interfere with visibility on public streets.

- Loading facilities, parking lots and service areas should be located so as to minimize the effects of noise and fumes on any adjacent residential properties, and where possible, such facilities should be located in a yard that does not immediately abut a residential property, and where they do, measures to mitigate the impact of such a location by fencing or plantings, berming and buffer strips, or increased setbacks should be employed as required.
 - Facilities for safe pedestrian access and circulation on-site should be provided.
- Developments adjacent to Highway 401 should ensure that the side of the property facing the highway are developed with a high standard of urban design. Open storage areas and parking and loading areas shall be prohibited from areas facing the highway unless it can be demonstrated that appropriate landscaping and screening to shield the open storage area will not detract from the intended character. All industrial/commercial activities shall be encouraged to locate within enclosed buildings unless it is essential for an activity to locate outdoors, in which case the industrial/commercial use will be suitably screened and buffered from the highway
- In general, uses to be permitted within areas designated Commercial land use would include business and professional offices, retail establishments, places of entertainment, assembly halls, restaurants, hotels and motels, personal service uses, automotive uses, community facilities and recreational uses. In some instances, particularly in the vicinity of residential areas, residential uses either as main uses or in concert with commercial development may be appropriate. However, not every property designated Commercial land use is suitable for all forms of commercial activity; the range of uses permitted within each area designated Commercial land use should be established taking into account:
 - the nature and extent of the market area that is to be served by the property and the commercial development;
 - the nature of abutting land uses and the potential impact of commercial
 - development upon such uses, and the effectiveness of mitigative measures;
 - the ease of access to the lands in question from the City's road system and the impact of commercial development upon traffic circulation;
 - the potential and suitability of the location to achieve the market penetration needed to enable the commercial development to be successful;
 - servicing implications; and
 - urban design issues.

Zoning By-Law

Currently, the subject land is zoned Service Industrial (SI-2-h) Zone and is vacant. A hotel is not permitted in the Service Industrial (SI-2-h) Zone.

The property is subject to the holding (h) provision which has conditions for cost sharing for a range of services and entering site plan control. Since the adjacent properties preceded this application, the requirements for the servicing have already been satisfied. Site plan control will be required prior to any development regardless if the holding (h) provision is retained.

The applicant is proposing to rezone the subject land to Highway Commercial (C1) Zone with special provisions for relief to the minimum front yard setback, maximum building height, minimum landscaping strip, and minimum parking space width provisions of the Highway Commercial (C1) Zone.

The Highway Commercial (C1) Zone includes hotel as a permitted use. The proposed zoning relief in comparison to the standard zone provisions is found in the following table:

| Provisions | C1 Zone | Proposed |
|---|-------------|-------------|
| Front Yard Setback (minimum) | 12.0 metres | 5.05 metres |
| Building Height (maximum) | 11.0 metres | 17.7 metres |
| Landscape Buffer abutting Residential Zones (minimum) | 3.0 metres | 1.2 metres |
| Parking Space Width (minimum) | 3.0 metres | 2.4 metres |

Hotel is defined as an establishment that consists of one building or two or more connected or adjacent buildings which throughout all or part of a year cater to the needs of the travelling public by furnishing sleeping accommodation, may or may not be licensed under the Liquor Licence Act, but does not include any other establishment otherwise defined or classified by this By-law.

Based on the Architectural Drawings submitted with the application (Attachment #4), the application will require further relief for the following C1 Zone provisions:

| Provisions | C1 Zone | As shown in Architectural Drawings |
|---|-------------|------------------------------------|
| Front Yard Setback (minimum) | 12.0 metres | 4.814 metres |
| Interior Yard Setback (minimum) | 6.0 metres | 4.589 metres |
| Setback to Centreline of Collector Road (minimum) | 25.4 metres | 17.868 metres |
| Driveway Width at Property Line (maximum) | 9.0 metres | 11.499 metres |
| Parking Space Aisle Width (minimum) | 7.0 metres | 6.7 metres |

Public Comments

On March 13, 2020, a written notice and location map was mailed by first class mail to all registered owners of land within 120 metres of the subject property. The notice provided information that a public meeting was scheduled for April 6, 2020.

Similarly, a sign was placed on the subject land notifying the general public that a public meeting was scheduled for April 6, 2020.

Due to circumstances surrounding COVID-19, the Public Meeting scheduled for April 6, 2020 was cancelled, and a Notice of cancellation was issued.

On May 11, 2020, a new written notice and location map was mailed by first class mail to all registered owners of land within 120 metres of the subject property. The notice provided information that a Public Meeting was scheduled for June 1, 2020.

A new sign was placed on the subject land notifying the general public that a public meeting was scheduled for June 1, 2020.

At the time of writing this report, no correspondence from the public has been received by the City regarding this application.

Staff and Agency Comments

External Agency Circulation

The subject application was circulated for comment to the Algonquin & Lakeshore Catholic School Board, the Hastings & Prince Edward District School Board, Hastings and Prince Edward Health Unit, Bell Canada, Canada Post, Ontario Power Generation, Union Gas, Elexicon Energy, Hydro One, TransCanada Pipeline, Enbridge Pipelines, Trans-Northern Pipelines, MPAC, the Health Unit, Quinte Conservation, the City of Quinte West, and the Ministry of Transportation.

Quinte Conservation has provided correspondence stating that that they have no objections to the application.

At the time of writing this report, no other comments or concerns have been received regarding this application.

Internal Department Circulation

The subject application was circulated for comment to the Belleville Fire Department, Belleville Police Service, the General Manager of Transportation

& Operations Department, General Manager of Environmental Services, the Director of Recreation, Culture and Community Services, the Manager of Parks & Open Spaces, the Chief Administrative Officer, the Manager of Economic & Strategic Initiatives, the City Clerk, the Chief Building Official, the Manager of Approvals, and the Accessibility Co-ordinator.

The Manager of Approvals has provided the following comments on the proposal:

- Please include footprint and setbacks for proposed carport/accessory structure west of the main entrance.
- Front yard setback is shown at 4.814 m, which is less than the requested 5.05 m.
- Easterly side yard setback is shown at 4.589 m, which is less than the required 6.0 m, per 6.11.1.5.7.3 of By-Law 3014.
- Setback to centreline of collector road is shown at 17.868 m, which is less than the required 25.4 m, per 6.11.1.5.9.2 of By-Law 3014.
- Driveway width at property line is shown at 11.499 m, which is greater than the maximum 9.0 m, per 6.11.1.5.8.1 of By-Law 3014.
- Several drive aisles accessing perpendicular parking spaces are shown at 6.7 m wide, which is less than the required 7.0 m, per 4.15.12 of By-Law 3014.
- A landscaped area is shown at the rear of the property abutting residential. Please note that 4.16.3 also requires this area to contain a continuous unpierced hedgerow of trees, evergreens or shrubs, not less than 2 metres high and 3 metres wide. Such screen may include a fence or berm which provides visual screening having a minimum height of 1.6 metres. Please include this detail on the plan.
- Staff is reviewing the need for loading spaces with the Policy Section. If it is determined that the loading space is a required element for a hotel, I note that Section 4.11.2 of By-Law 3014 would require the provision of 2 loading spaces based on a GFA of over 2,300 sq. m. and up to 7,400 sq. m. Please feel free to provide us with additional detail on the type of goods being shipped and anticipated frequency of deliveries.

Belleville Parks & Open Spaces, Fire Department, and Recreation, Culture and Community Services have provided correspondence that they have no objections to the application.

At the time of writing this report, no other comments or concerns have been received regarding this application.

Considerations:

Public

Circulation to the public complies with the requirements of the Planning Act,

R.S.O. 1990.

Financial

The fees of the application have been received by the City.

Impact on and input from other Departments/Sources

Circulation of this application to other departments/agencies has occurred.

Strategic Plan Alignment

The City of Belleville's Strategic Plan identifies nine strategic themes including Industrial and Commercial Development. The strategic objectives of the Industrial and Commercial Development theme are:

- Ensure suitable serviced employment lands are available to meet the needs of all potential industrial and commercial investments
- Market the City's unique strengths to attract leading-edge industries that provide high paying job opportunities
- Encourage remediation and redevelopment of underutilized lands
- Support initiatives that create an available skilled labour force, including programs to retain youth in the community

Conclusion:

Comments received at this public meeting, as well as subsequent written comments will be considered by the Engineering and Development Services Department in analysis of the application received to amend the City of Belleville Zoning By-Law 3014. A recommendation report will be brought forward upon receipt of all agency and public comments.

Respectfully submitted,



Andrew Chan, BES
Policy Planner, Policy Planning
Engineering and Development Services Department

Attachments

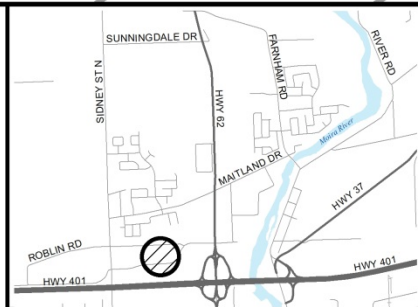
- Attachment #1 – Location and Existing Zoning Map
- Attachment #2 – Proposed Zoning Map
- Attachment #3 – Official Plan Designation
- Attachment #4 – Architectural Drawings
- Attachment #5 – Civil Drawings
- Attachment #6 – Landscape Drawings
- Attachment #7 – Photometrics Drawings
- Attachment #8 – Survey
- Attachment #9 – Planning Justification Report
- Attachment #10 – Stormwater Management Report and Functional Servicing Study
- Attachment #11 – 3D Views
- Attachment #12 – Google Street View Image



LOCATION MAP EXISTING ZONING

LOCATION: PT. LOTS 29 & 30, REGISTERED
PLAN NO. 22

 - SUBJECT LANDS




CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT
SERVICES DEPARTMENT

B-77-1105

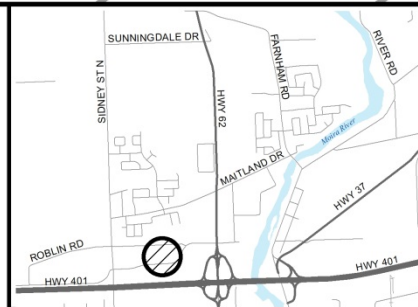


PROPOSED ZONING BY-LAW AMENDMENT

LOCATION: PT. LOTS 29 & 30, REGISTERED PLAN NO. 22

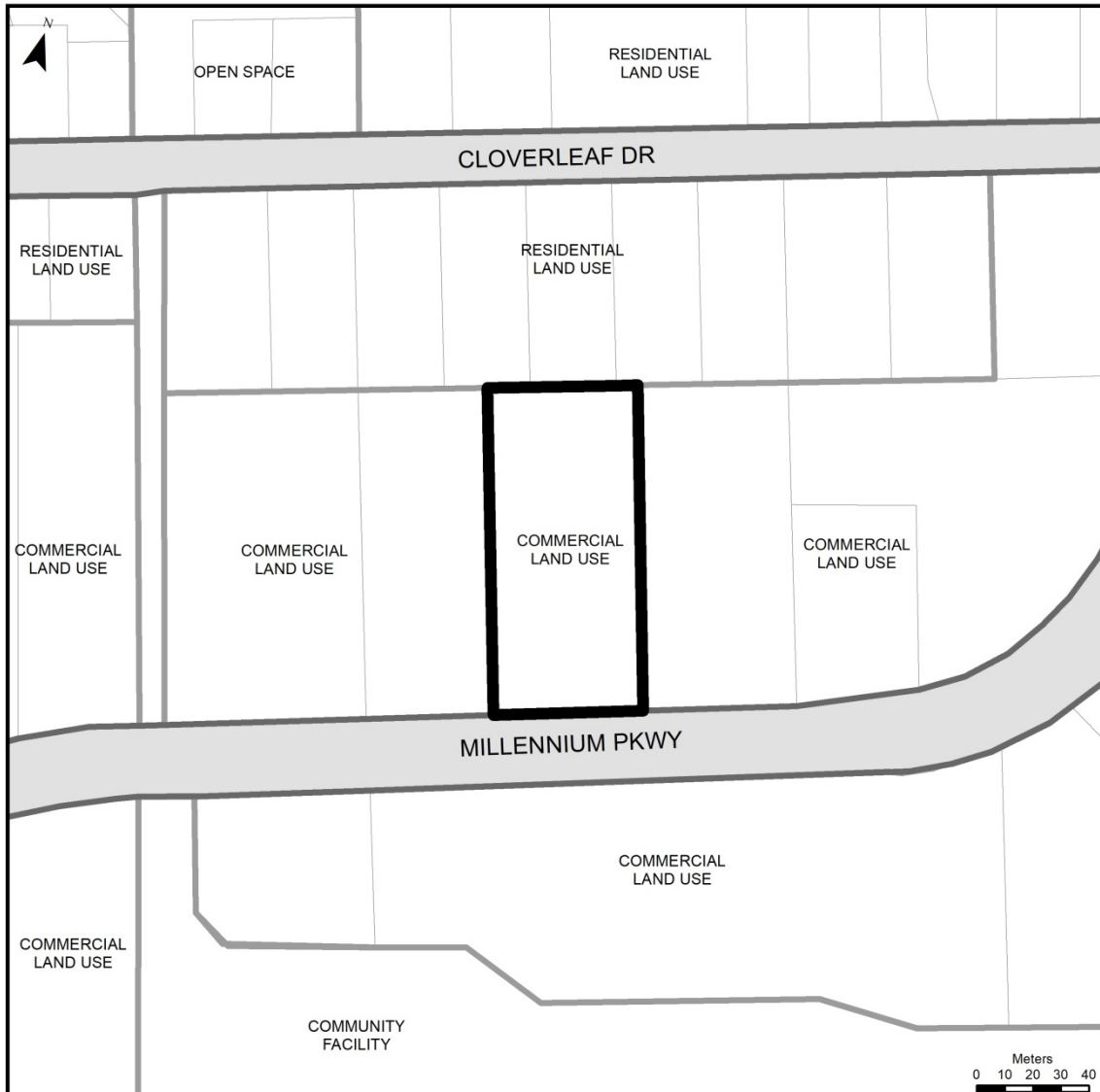
 - SUBJECT LANDS

 - PROPOSED ZONING CHANGE TO C1 (HIGHWAY COMMERCIAL) WITH SPECIAL PROVISIONS



CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT SERVICES DEPARTMENT

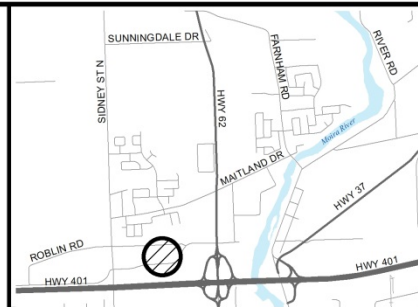
B-77-1105



LOCATION MAP LAND USE

LOCATION: PT. LOTS 29 & 30, REGISTERED
PLAN NO. 22

 - SUBJECT LANDS



CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT
SERVICES DEPARTMENT

B-77-1105

PP-2020-18

Attachment #4
Architectural Drawings

June 1, 2020

| PROJECT STATISTICS | |
|---|-----------------------------------|
| ADDRESS - MILLENNIUM PARKWAY BELLEVILLE, ON | |
| ZONING - SERVICE INDUSTRIAL (S1-2-H) | |
| PROPOSED - HIGHWAY COMMERCIAL (C1) | |
| LOT AREA (m ²) | PROPOSED 6032.04 SQM. (1.50 ACRE) |
| LOT FRONTAGE | 30M |
| PROP. HOTEL GFA | 4195.56 SQM. |
| TOTAL COVERAGE | 50% MAX. 839.11 SQM. (13.77%) |
| LANDSCAPE AREA | 867.39 SQM. (14.23%) |
| LANDSCAPE STRIP | 1.44 M |
| PAVED AREA | 437.95 SQM. (7.18%) |
| BUILDING HEIGHT | 17.5M |

| SETBACK | REQUIRED | PROPOSED |
|--------------------|----------|----------|
| FRONT YARD (SOUTH) | 12M | 4.81 M |
| REAR YARD (NORTH) | 7.5M | 57.93 M |
| SIDE YARD (EAST) | 4.5M | 4.58 M |
| SIDE YARD (WEST) | 4.5M | 29.15 M |

| PARKING REQUIREMENTS: | |
|---------------------------|-----------|
| HOTEL | PROPOSED |
| (1 SPACE PER 36 SQM. GFA) | 117 |
| PARKING SIZE | 3.0MX6.0M |
| | 2.4MX6.0M |

LEGEND

- NEW BUILDING
- ASPHALT
- LANDSCAPE
- CONC. PAVEMENT, 150MM RAISED
- MANHOLES
- CATCH BASINS
- CB-MH
- WATER VALVE
- TIRE AIR PUMP
- BARRIER FREE
- MAIN ENTRANCE
- OVERHEAD DOOR
- TREE
- BARRIER CURB
- BARRIER FREE CURB
- LIGHT STANDARD
- FIRE HYDRANT
- UTILITY POLE
- LIGHT BOLLARDS
- PROPOSED WALL MOUNTED LIGHTS

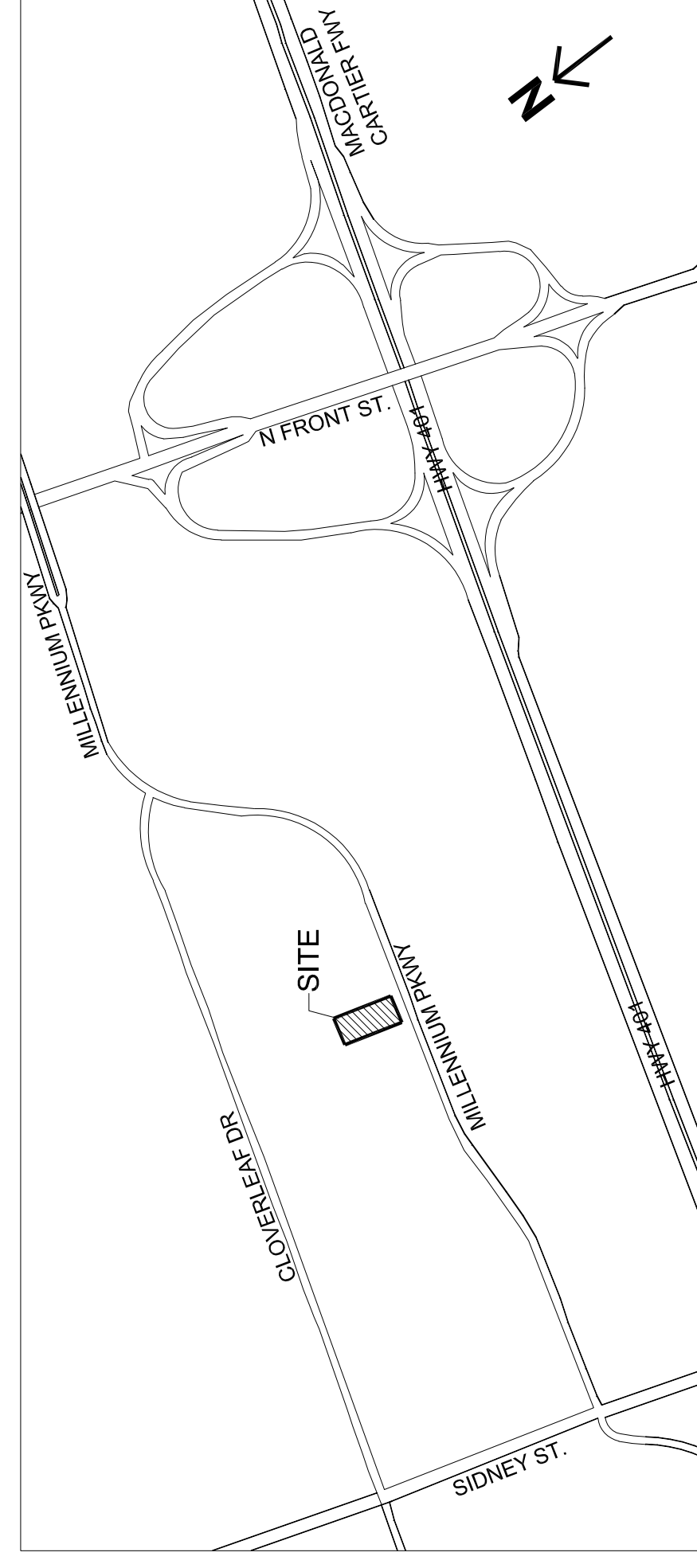
GUEST ROOMS

| FLOORS | 1ST FLOOR | 2ND FLOOR | 3RD FLOOR | 4TH FLOOR | 5TH FLOOR | TOTAL |
|-------------------------|-----------|-----------|-----------|-----------|-----------|-------|
| KING SUITE | 1 | 14 | 14 | 14 | 14 | 57 |
| DQ SUITE | 2 | 7 | 7 | 7 | 7 | 29 |
| KING ACCESSIBLE | - | 1 | 1 | 1 | 1 | 5 |
| DOUBLE QUEEN ACCESSIBLE | - | 1 | 1 | 1 | 1 | 4 |
| TOTAL | 3 | 23 | 23 | 23 | 23 | 95 |

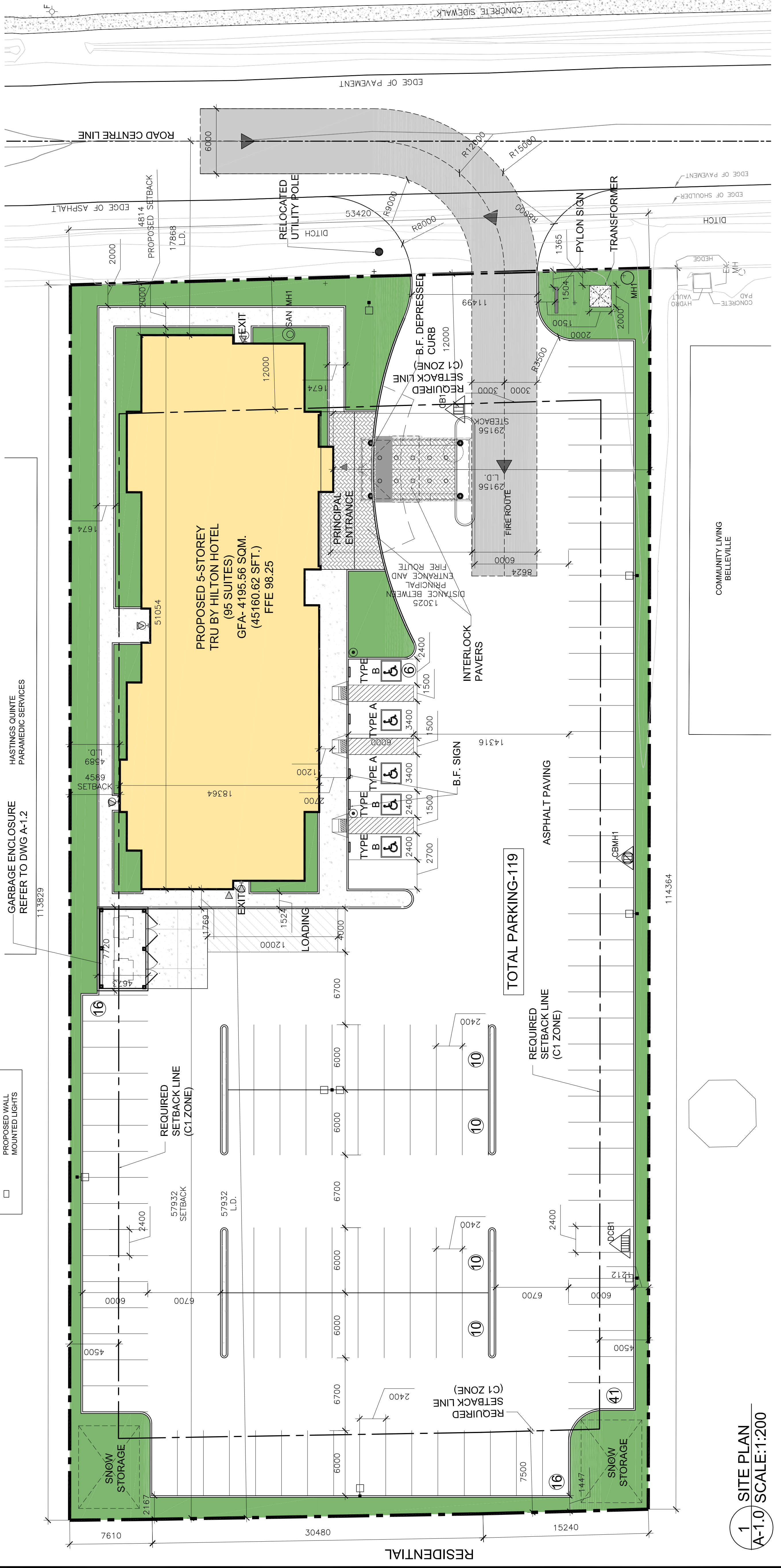
LEGAL DESCRIPTION:
PART OF LOTS 29 & 30
GEOGRAPHIC TOWNSHIP OF THURLLOW
CITY OF BELLEVILLE
COUNTY OF HASTINGS

SURVEYOR'S INFORMATION:
SURVEY INFORMATION TAKEN FROM
THAM SURVEYING LIMITED
ONTARIO LAND SURVEYOR
REG. NO. 2012
OFFICE: 1000 SHEPPARD AVENUE EAST, UNIT 7, VAUGHAN,
ONTARIO L4V 1N2
PHONE: 905-761-6521
FAX: 905-761-6523

OWNER INFORMATION:
PUNIA GROUP
81 ZENWAY BLVD UNIT 12
WOODBIDGE, ON L4H 0R6
TEL: 647-839-0759
WWW.PUNIAGROUP.COM
CONTACT: SUNNY PUNIA



2 KEY PLAN
A-1.0 SCALE: N.T.S.



1 SITE PLAN
A-1.0 SCALE: 1:200

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www.narchitecture.com

ONTARIO ASSOCIATION OF ARCHITECTS
NITIN MALHOTRA
LICENSE NO. 8211
PROJECT NORTH

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07H FEB 2020

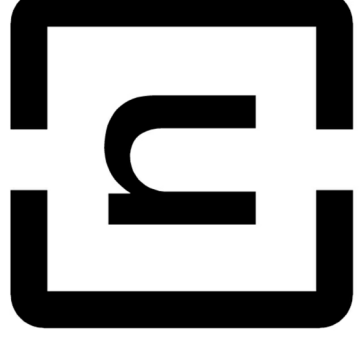
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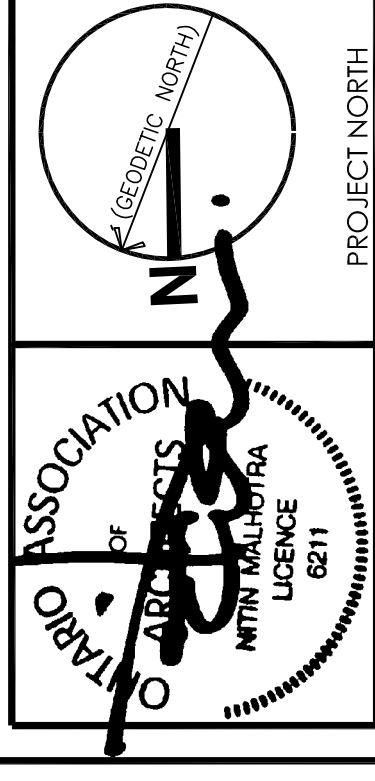
PROJECT:
TRU BY HILTON
PROPOSED HOTEL
MILLENNIUM
PARKWAY
BELLEVILLE, ON

DRAWING TITLE:
SITE PLAN

| | |
|--------------------|--------------------|
| DRAWN BY: SB | DATE: 2019 OCT 28 |
| CHECKED BY: NM | SCALE: AS NOTED |
| PROJECT NO.: 19-63 | DRAWING NO.: A-1.0 |



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PROJECT NORTH

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PROJECT:

**TRU BY HILTON
 PROPOSED HOTEL
 MILLENNIUM
 PARKWAY
 BELLEVILLE, ON**

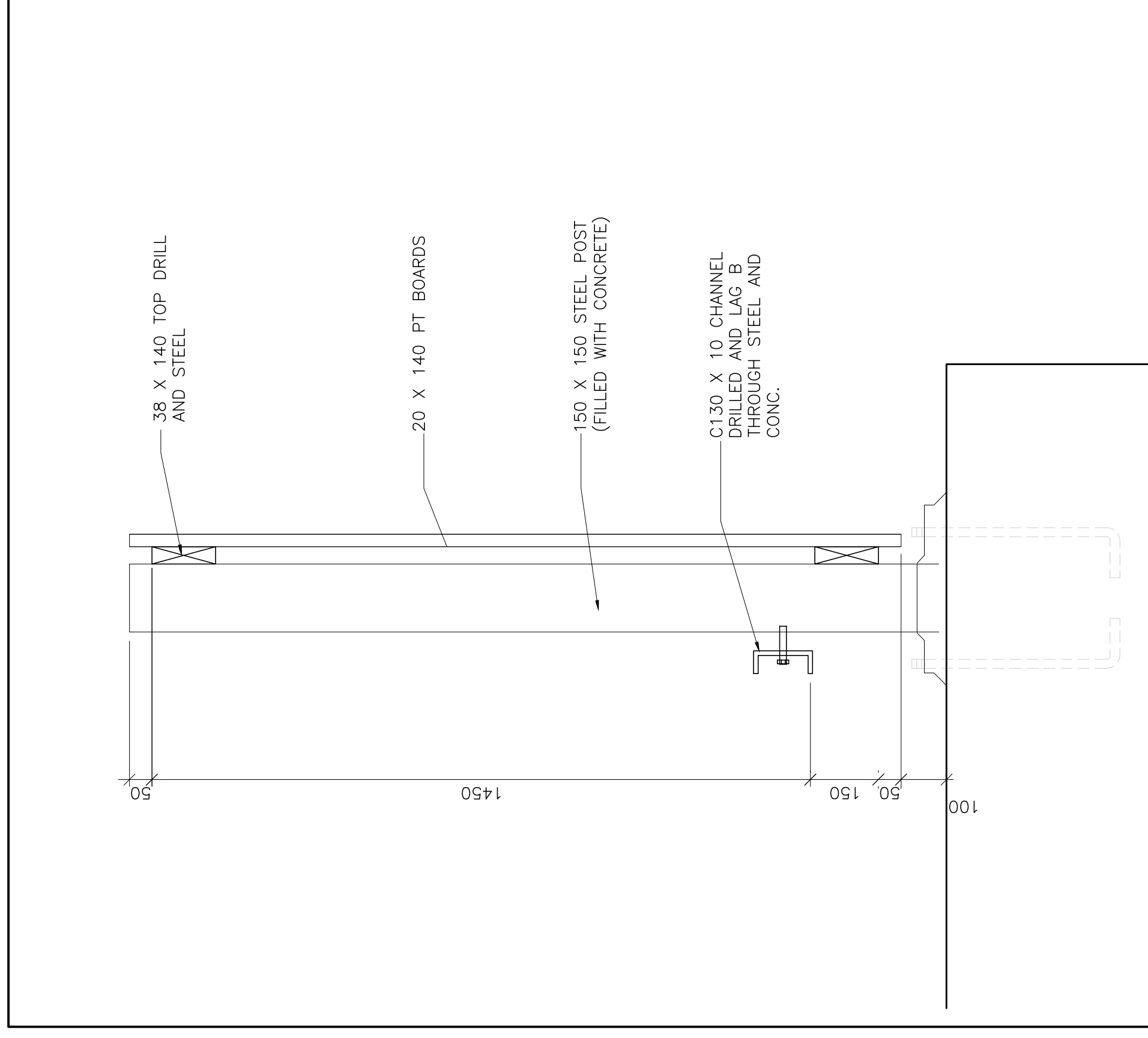
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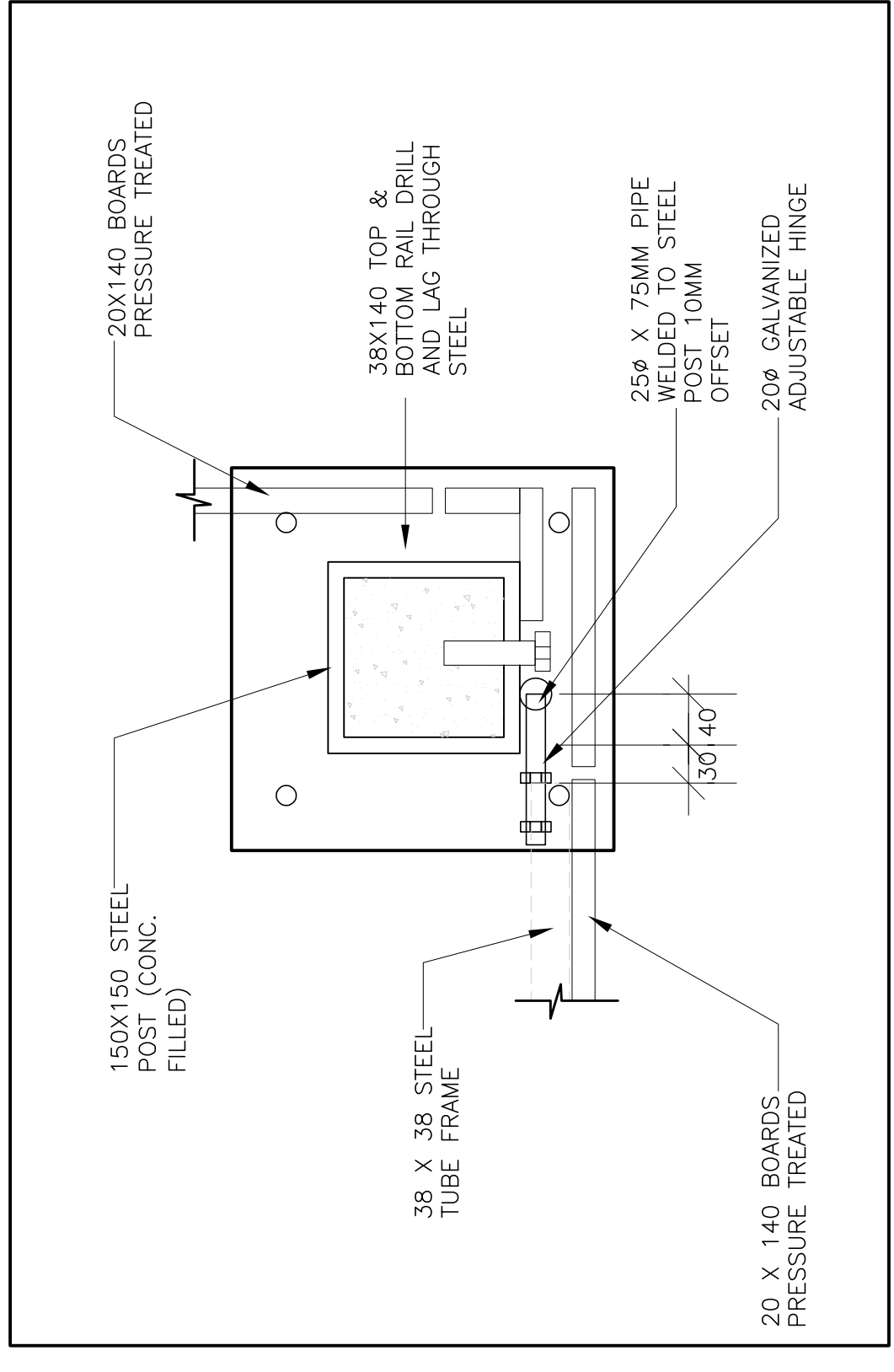
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| PROJECT NO.: | DRAWING NO.: |

19-63

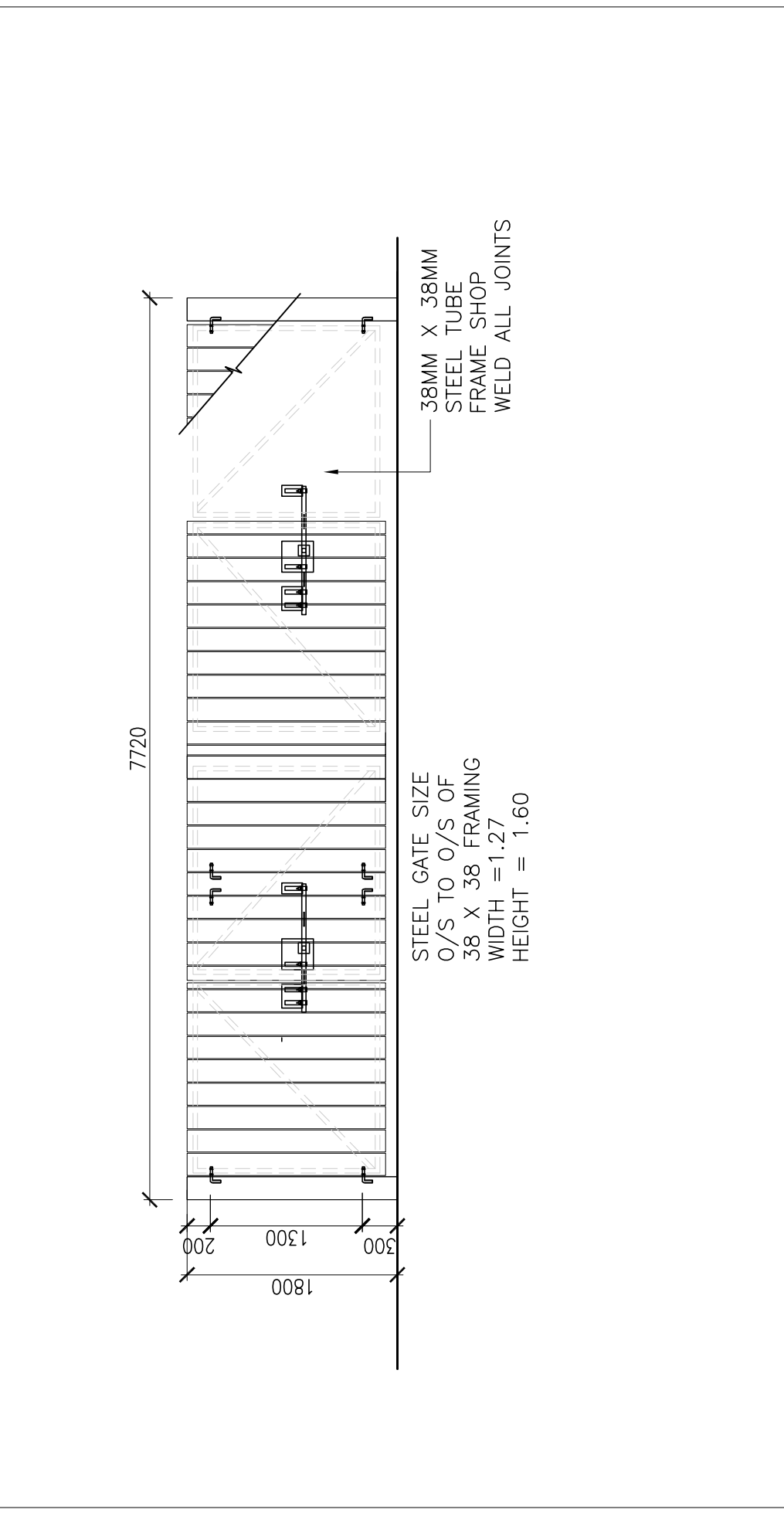
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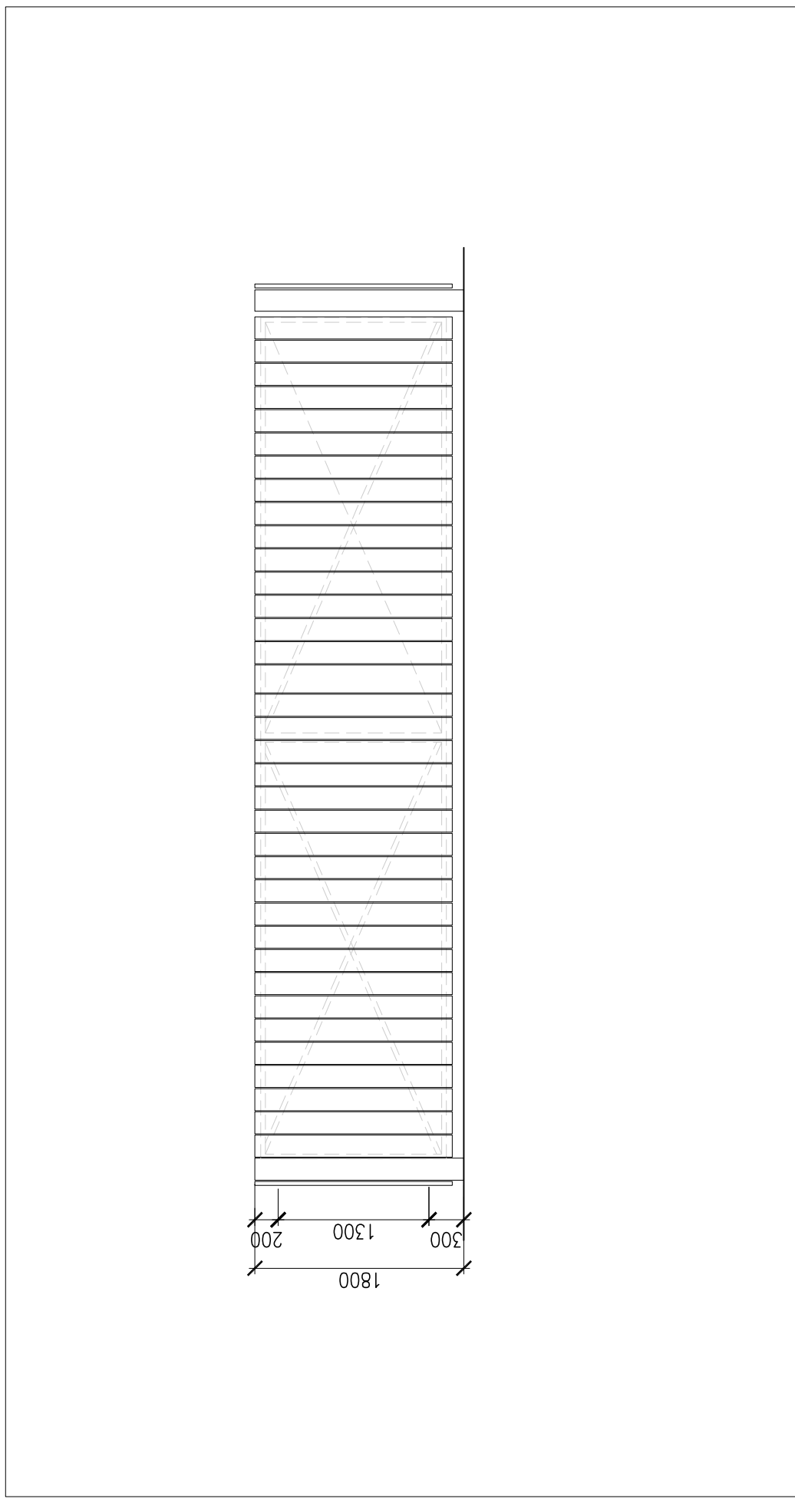
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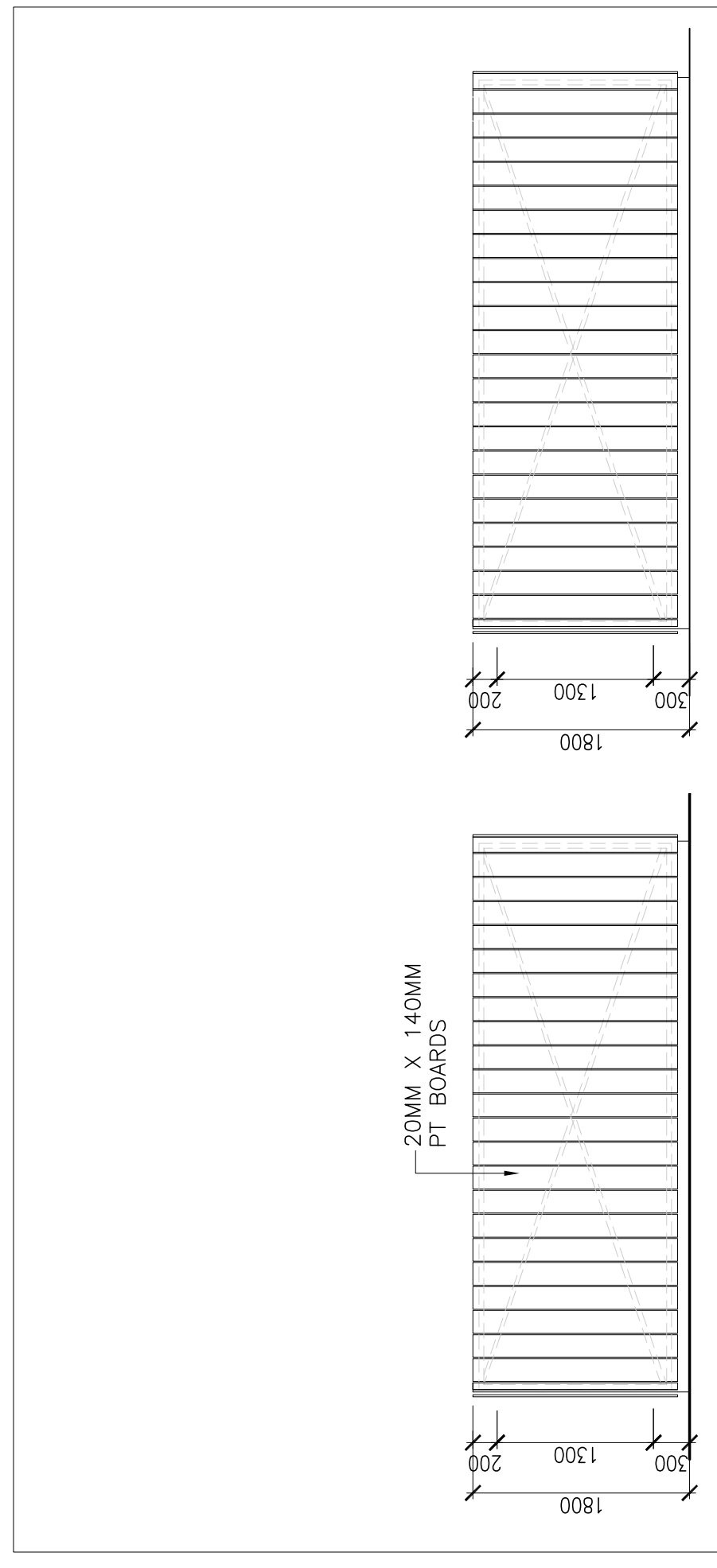
7 DETAIL
 SCALE:1:5



2 WEST ELEVATION
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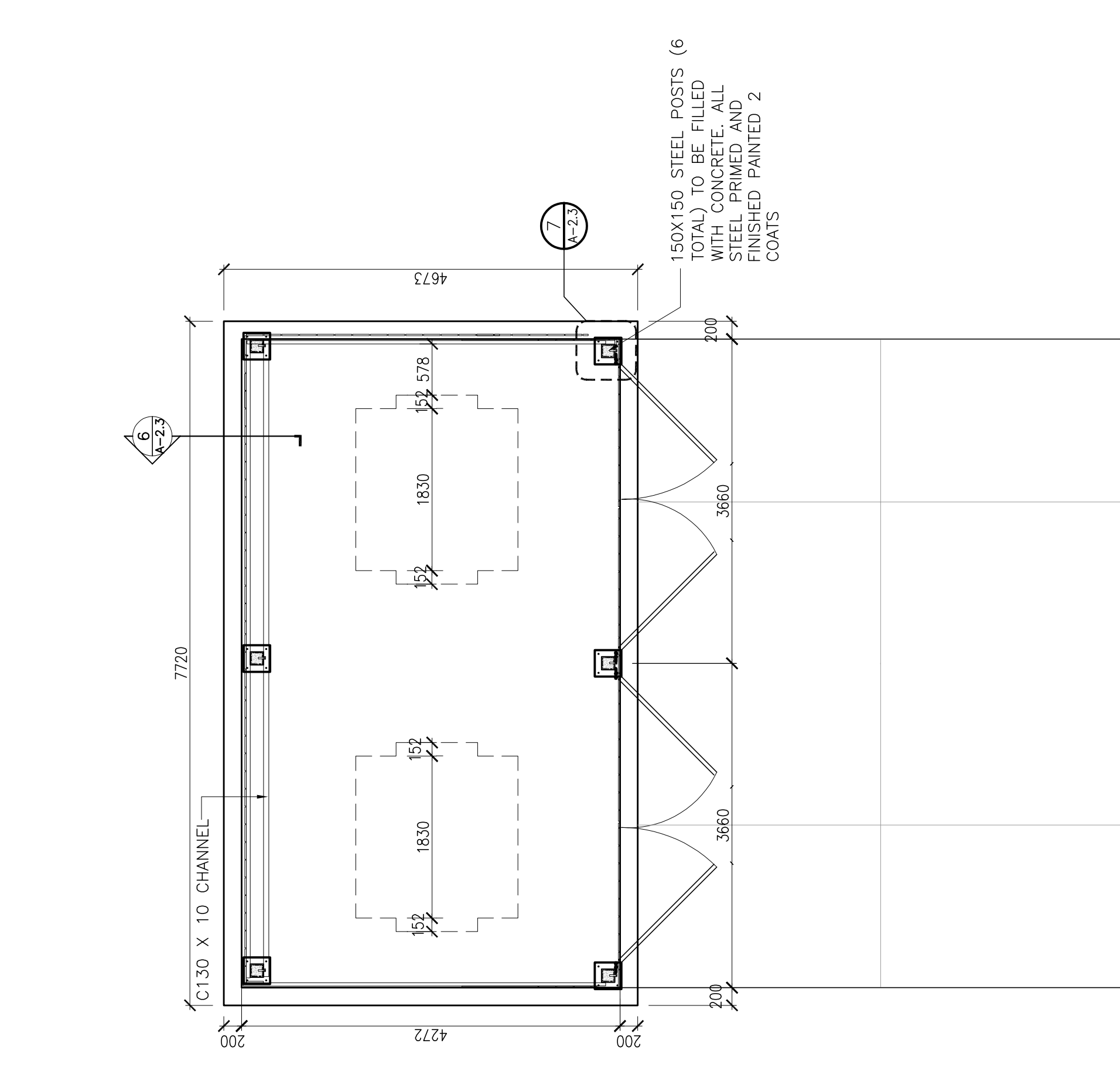


3 EAST ELEVATION
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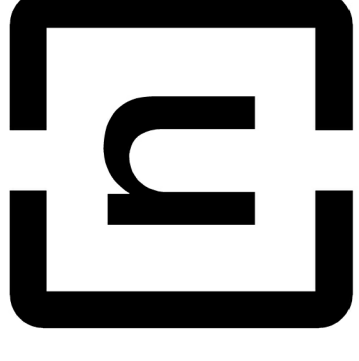


4 NORTH ELEVATION
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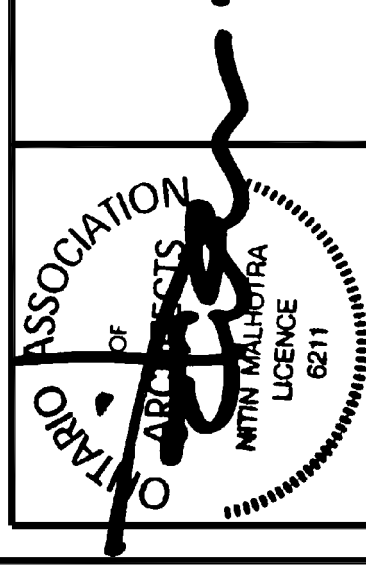
5 SOUTH ELEVATION
 SCALE:1:50



1 PLAN
 SCALE:1:50



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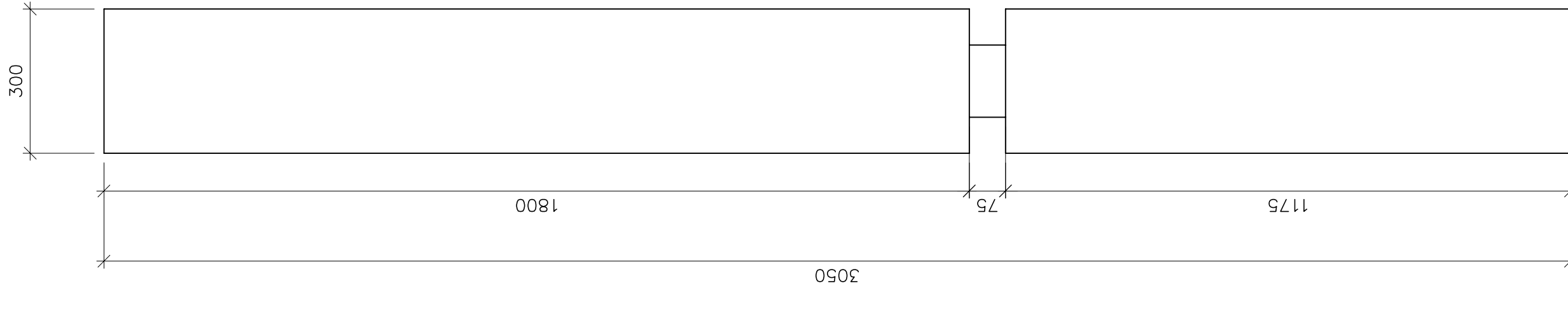
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PROJECT:
TRU BY HILTON
PROPOSED HOTEL
MILLENNIUM
PARKWAY
BELLEVILLE, ON

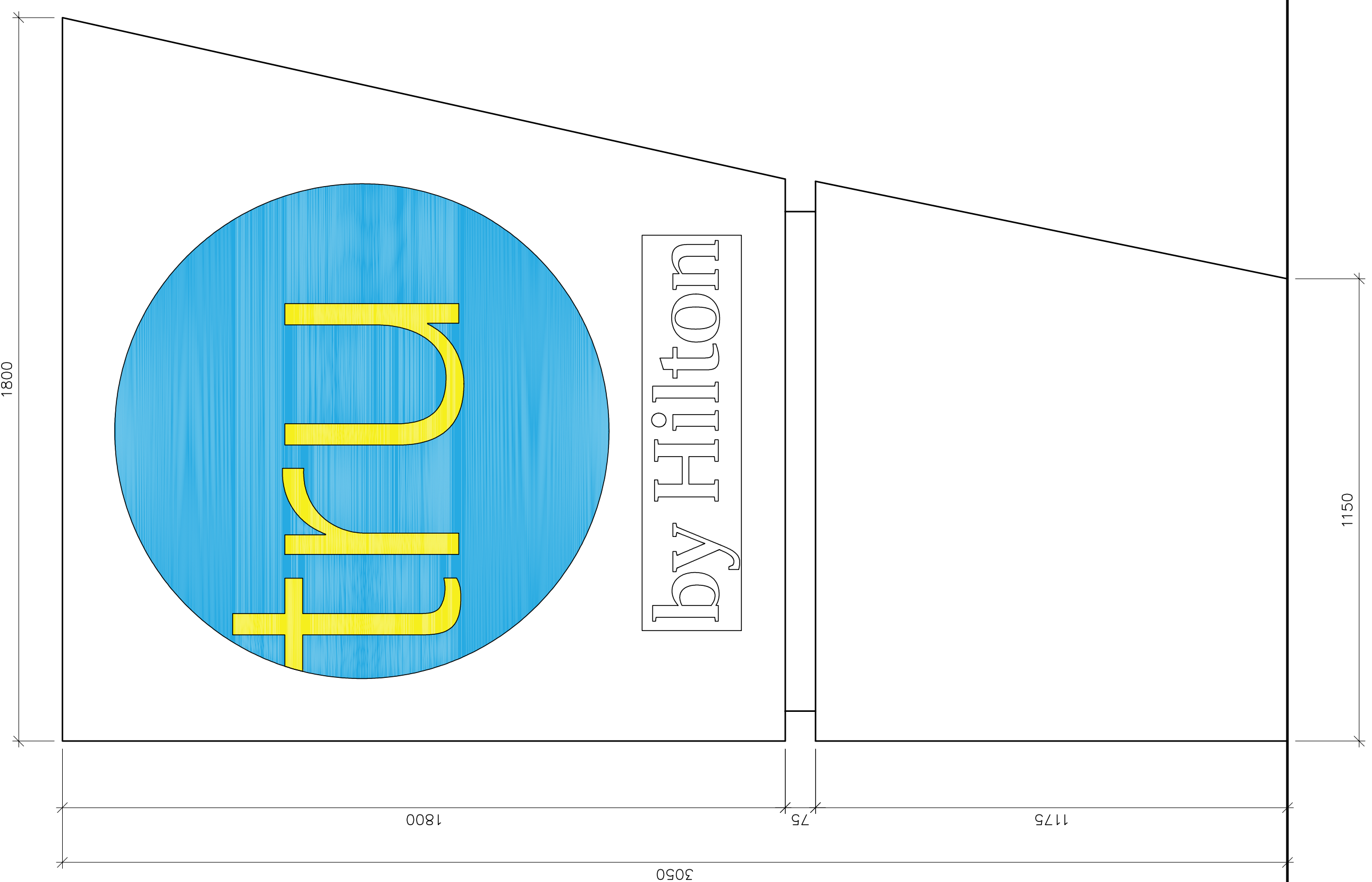
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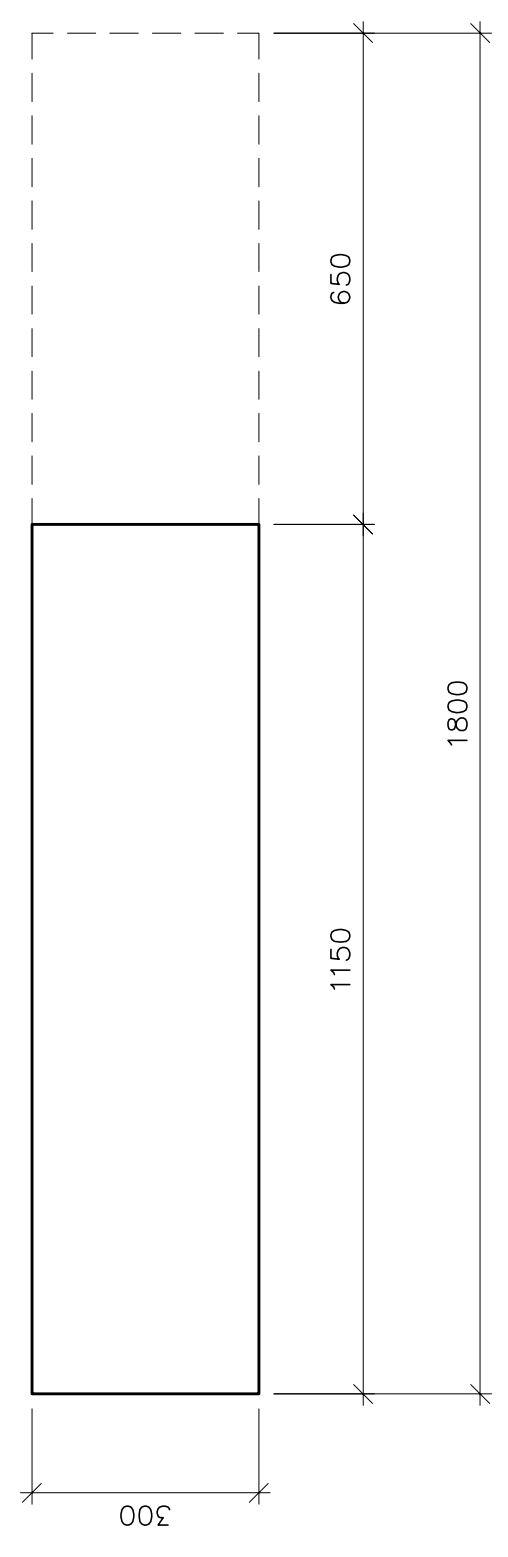
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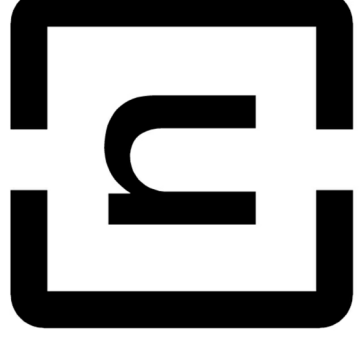
2 SIDE ELEVATION
 A-1.3 SCALE: 1:10



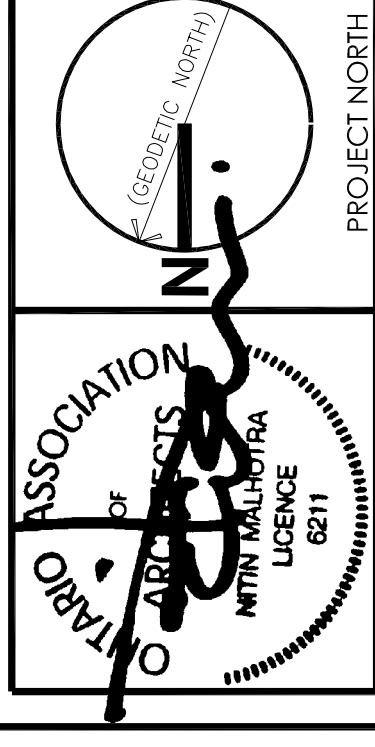
1 ELEVATION
 A-1.3 SCALE: 1:10



3 PLAN
 A-1.3 SCALE: 1:10



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PROJECT NORTH

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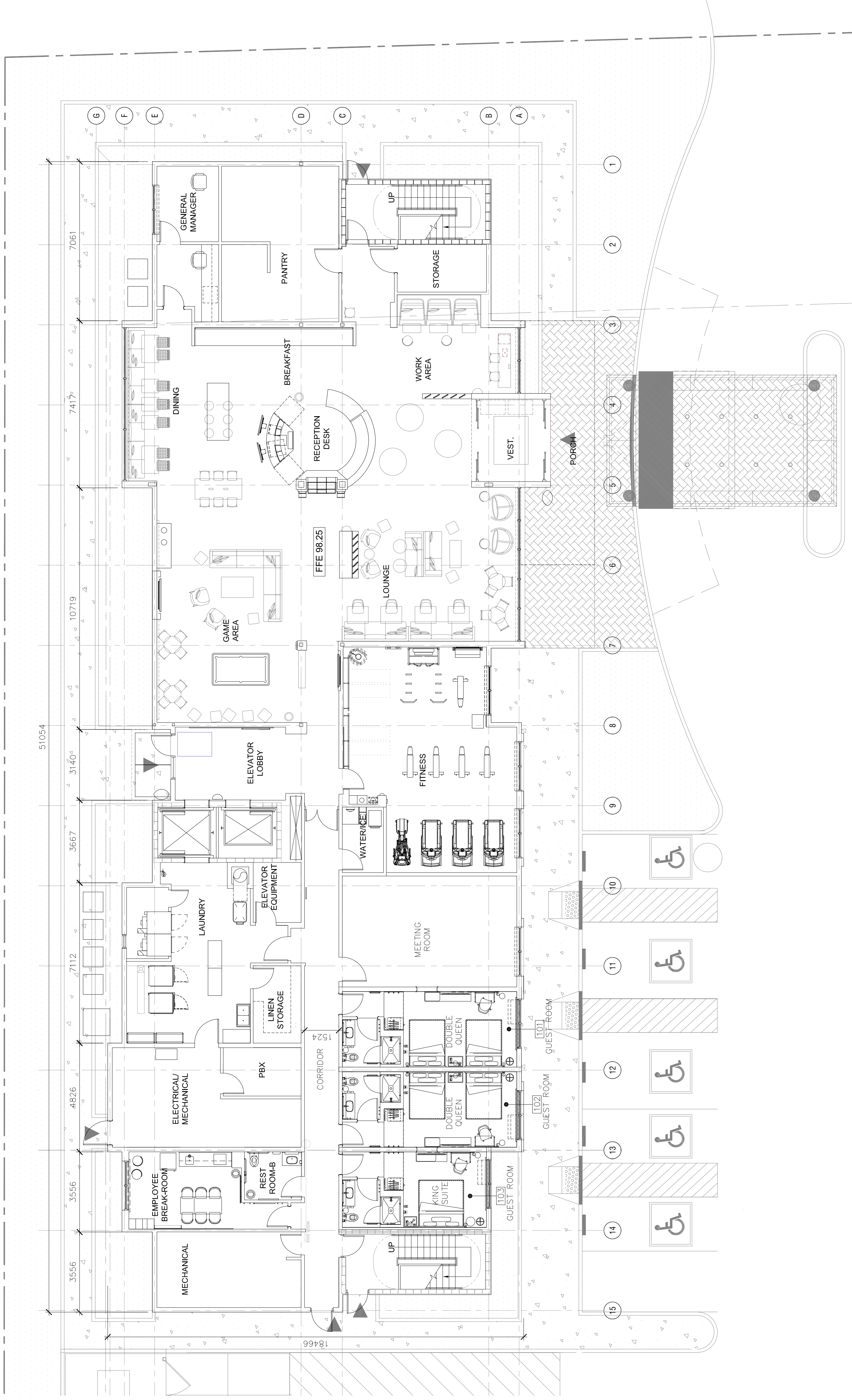
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 PROPOSED HOTEL
 MILLENNIUM
 PARKWAY
 BELLEVILLE, ON**

DRAWING TITLE:

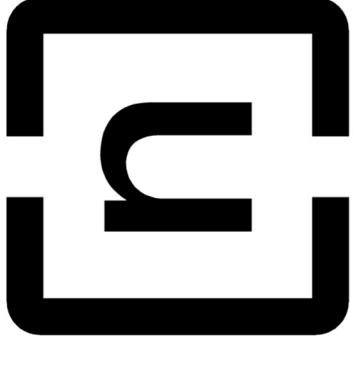
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| | |
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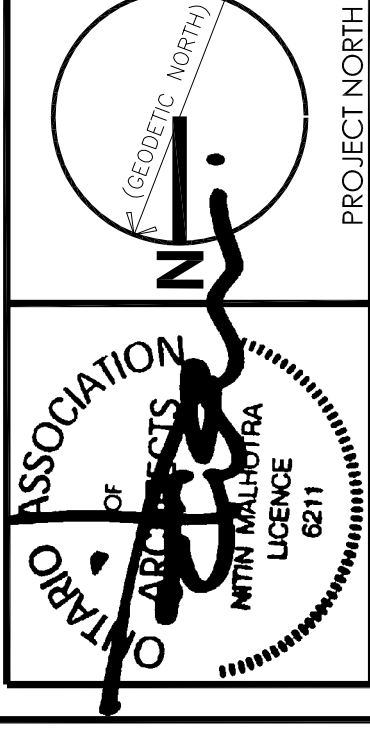
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**1 FIRST FLOOR PLAN
 A-2.0 SCALE: 1:100**



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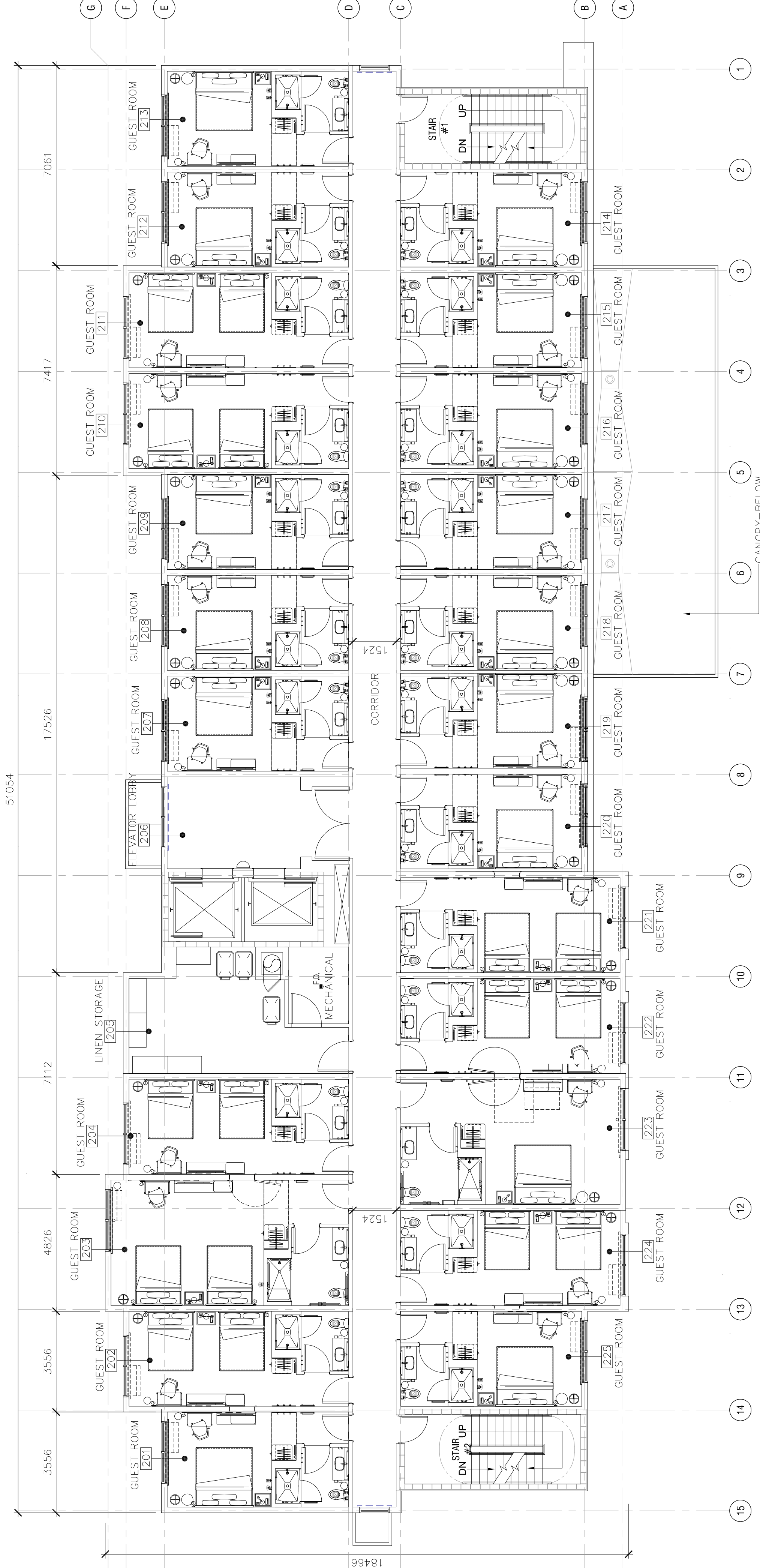


PROJECT NORTH

07th FEB 2020
 ISSUED FOR ZBA / SPA
 NOT FOR CONSTRUCTION

| ROOM TYPE | QUANTITY |
|------------|----------|
| KING SUITE | 14 |
| DQ SUITE | 7 |
| KING ACC. | 1 |
| ACC. DQ | 1 |
| TOTAL | 23 |

| FLOORS | 1ST FLOOR | 2ND FLOOR | 3RD FLOOR | 4TH FLOOR | 5TH FLOOR | TOTAL |
|-------------------------|-----------|-----------|-----------|-----------|-----------|-------|
| KING SUITE | 1 | 14 | 14 | 14 | 14 | 57 |
| DQ SUITE | 2 | 7 | 7 | 7 | 7 | 29 |
| KING ACCESSIBLE | - | 1 | 1 | 1 | 1 | 5 |
| DOUBLE SUITE ACCESSIBLE | - | 1 | 1 | 1 | 1 | 4 |
| TOTAL | 3 | 23 | 23 | 23 | 23 | 95 |



CANOPY-BELOW

| No. | Date | Version | Dwn. |
|-----|------------|----------------------|------|
| 1. | 7 FEB 2020 | ISSUED FOR ZBA / SPA | |

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PROJECT:

**TRU BY HILTON
 PROPOSED HOTEL
 MILLENNIUM
 PARKWAY
 BELLEVILLE, ON**

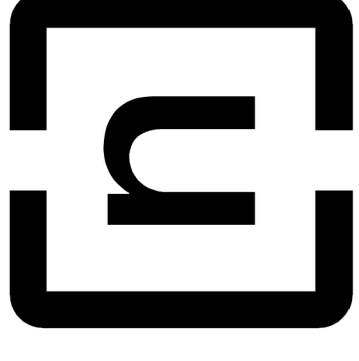
DRAWING TITLE:

**SECOND TO FIFTH
 FLOOR PLAN**

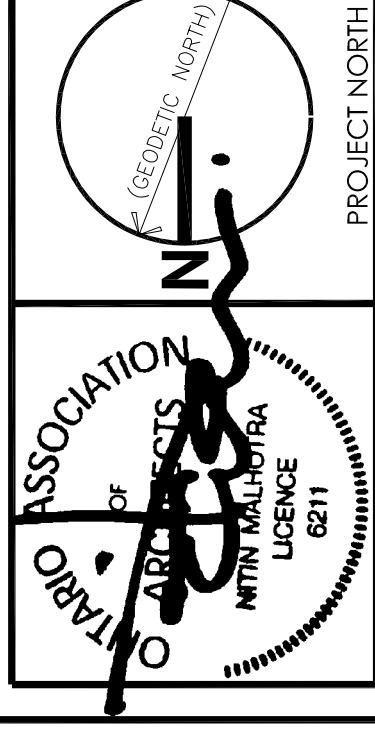
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|----------------|-------------------|
| DRAWN BY: SB | DATE: 2019 OCT 28 |
| CHECKED BY: NM | SCALE: AS NOTED |
| PROJECT NO.: | DRAWING NO.: |

19-63 A-2.1

**1 TYPICAL FLOOR PLAN
 A-2.1 SCALE: 1:100**



n Architecture Inc
 PRINCIPAL: NITIN MALHOTRA, ARCHITECT.
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PROJECT NORTH

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PROJECT:

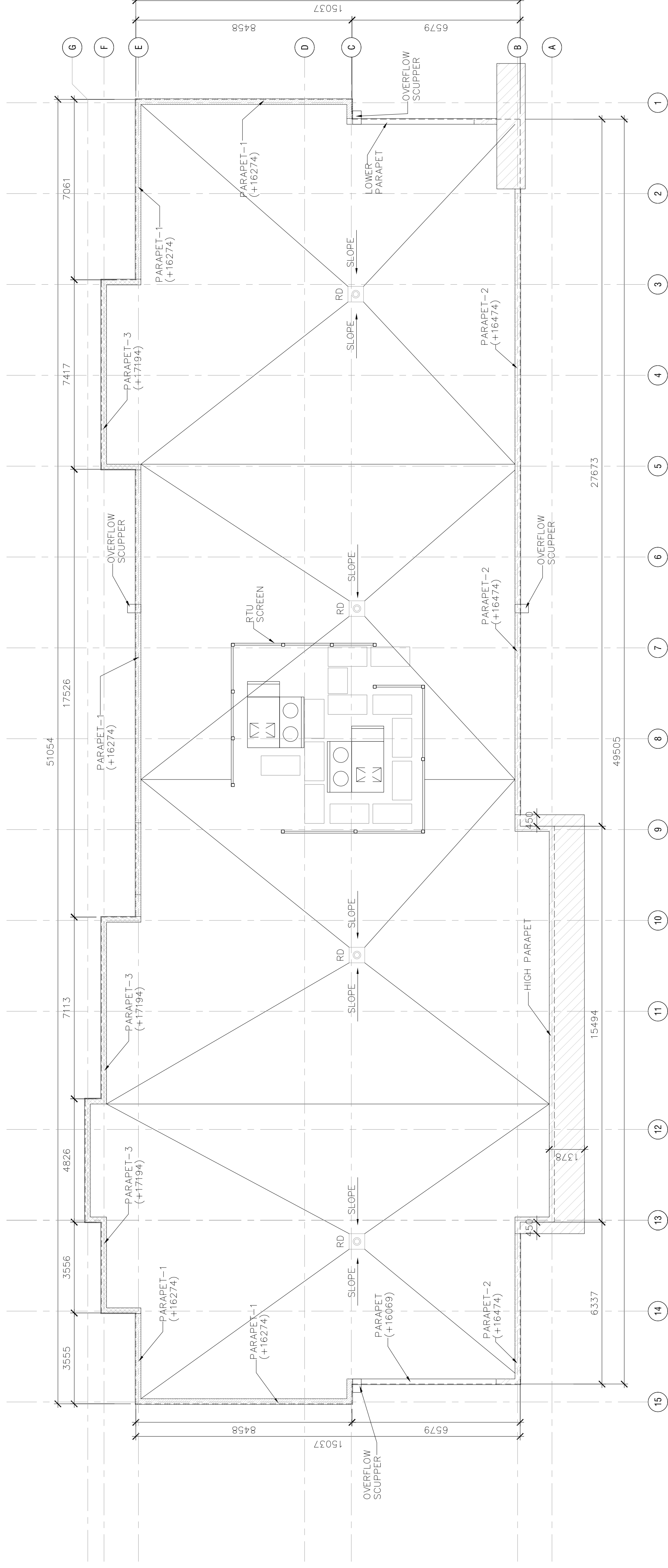
**TRU BY HILTON
 PROPOSED HOTEL
 MILLENNIUM
 PARKWAY
 BELLEVILLE, ON**

DRAWING TITLE:

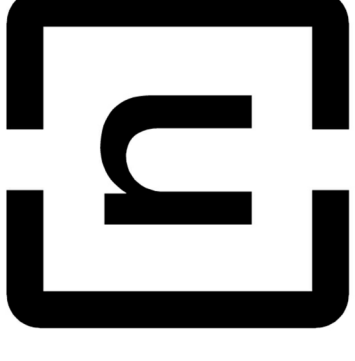
ROOF PLAN

| | |
|----------------|-------------------|
| DRAWN BY: SB | DATE: 2019 OCT 28 |
| CHECKED BY: NM | SCALE: AS NOTED |
| PROJECT NO.: | DRAWING NO.: |

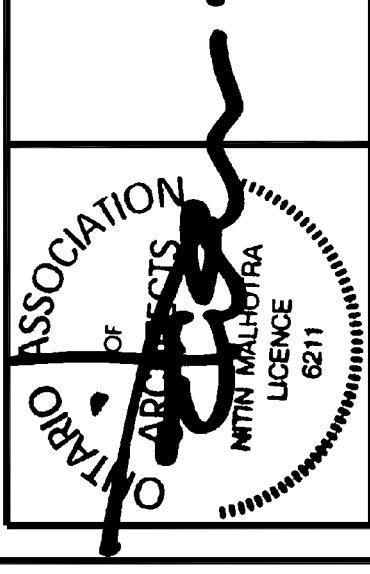
19-63 A-2.2



**1 ROOF PLAN
 A-2.2 SCALE: 1:100**



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 PRINCIPAL: NITIN MALHOTRA, ARCHITECT.
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ISSUED FOR ZEA 524
 07th FEB 2020
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KEY NOTES:

- APPROXIMATE LINE OF GRADE
- ABOVE GRADE EXPOSED FOUNDATION WALL
- CONCRETE FOOTING AND FOUNDATION WALL AS REQUIRED PER LOCAL FIRST DEPT'S
- ALUMINUM FRAMED WINDOW W/ THERMAL BROKEN FRAME INSULATED GLAZING WITH INTERIOR ALUMINUM COVER AT PPG UNITS
- ALUMINUM FRAMED WINDOW W/ THERMAL BROKEN FRAME INSULATED GLAZING
- ALUMINUM STOREFRONT SYSTEM W/ THERMAL BROKEN FRAME AND INSULATED GLAZING
- ALUMINUM PT/C GLAZER - COLOR TO MATCH ADJACENT MATERIAL
- ALUMINUM AUTOMATIC SLIDING ENTRY DOOR W/ INSULATED GLAZING
- OPERLOW SUPPLY/RESQ INC. - MODEL # 657H 48
- BASES OF PERSON RESQ INC. - MODEL # 657H 48
- SOURCE: REFER TO TRU BY HILTON EXTERIOR SIGNAGE SPECIFICATIONS
- KNIPS FINISH ALUMINUM COPING GRAVEL STOP SYSTEM - COLOR TO MATCH ADJACENT MATERIAL
- REVEAL ALL VENTS AROUND PROPERTY BEFORE LOCATING ALL ROOF PENETRATIONS
- EXPANSION JOINT @ FLOOR LINE W/ BACKER ROD AND SEALANT
- BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION
- ACCENT "M" JOINT
- DOWNLIGHT & IN-GROUND UP LIGHT TO ACCENT MULTI-COLOURED BUILDING RECESSES
- ELECTRICAL CONDUIT FOR THE BUILDING SIGNS MUST BE ROUTED FROM THE ROOF PARAPET OR CONTAINED WITHIN THE EXTERIOR WALLS. ALL ELECTRICAL PENETRATIONS MUST BE PROTECTED BY APPROVED DEVICES AND SHALL NOT BE PERMITTED IN THE ADJACENT SIDEWALK OR GUESTROOM. PROVIDE TWO (2) ELECTRICAL STUB OUTS, ONE FOR EACH PORTION OF THE REFER TO THE TRU BY HILTON STAMPED MANUAL FOR SUPPLEMENTARY.
- ALUMINUM COVER - COLOR TO MATCH ADJACENT WALL MATERIAL

- DRYVIT SYSTEMS: TRU102 1000S - PANTONE TC BLACK
- DRYVIT SYSTEMS: TRU101 2740 - DRYVIT #6138 OVERCAST
- DRYVIT SYSTEMS: TRU103 1101 - DRYVIT #927 GLACIER
- DRYVIT SYSTEMS: FINISH VARIES - REFER TO DIAGRAM 10E
- DRYVIT SYSTEMS: TRU105 1000S - PANTONE PMS PROCESS CYAN
- DRYVIT SYSTEMS: DRYVIT #6154 TITILLATE
- HIGH PRESSURE LAMINATE PANEL COLOR TO MATCH PANTONE PMS PROCESS CYAN
- HIGH PRESSURE LAMINATE PANEL COLOR TO MATCH PANTONE PMS PROCESS YELLOW
- SELAMINUM MOORE EXTERIOR PAINT: 1596 NIGHTFALL HIGH GLOSS 148

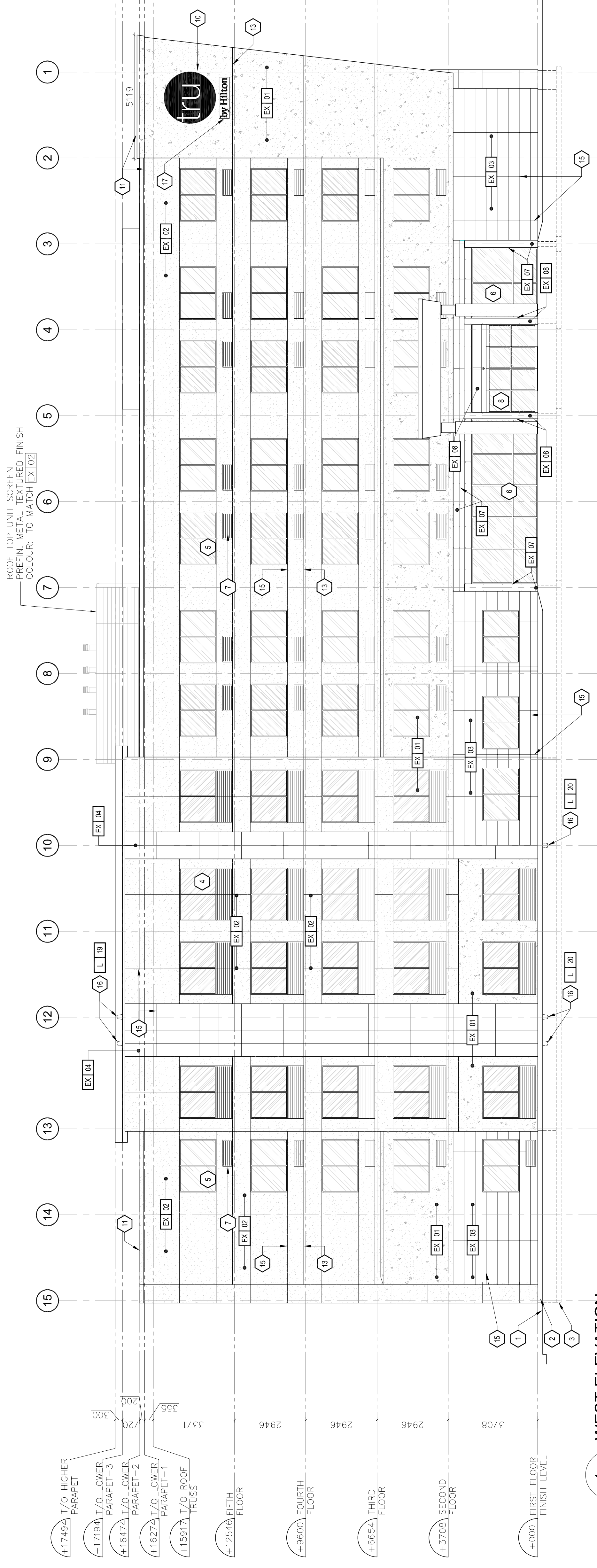
FINISH LEGEND:

- EX 01
- EX 02
- EX 03
- EX 04
- EX 05
- EX 06
- EX 07
- EX 08
- EX 09

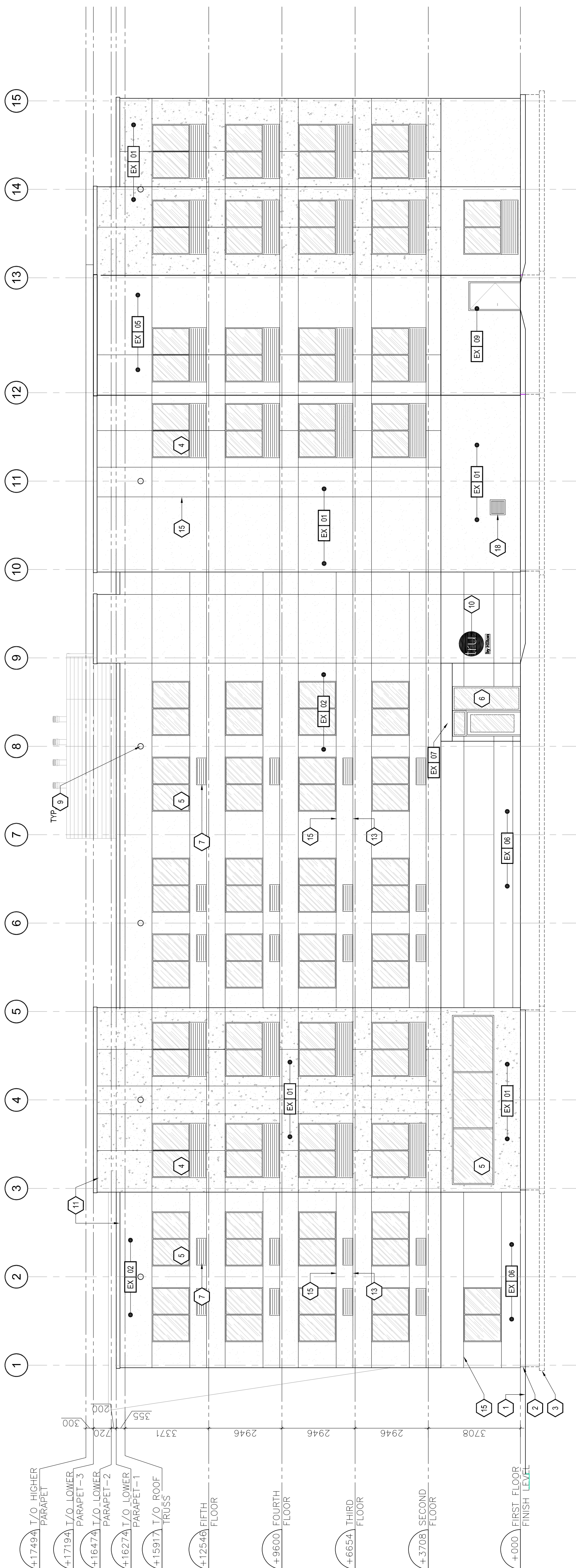
ALERT

- REFER TO ARCHITECTURAL FINISHES AND EXCITURE SPECIFICATIONS FOR COLOR CODING SCHEDULE
- TRU104 1005S - PANTONE PMS PROCESS YELLOW
 - TRU105 1005S - PANTONE PMS PROCESS CYAN
 - TRU106 1005S - PANTONE PMS #317C
 - TRU107 1005S - PANTONE PMS #295C
 - TRU108 1005S - PANTONE PMS #2895C

| | | | | | | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |



1 WEST ELEVATION
A-3.0 SCALE:1:100

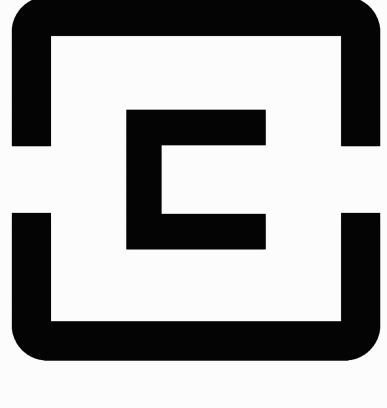


2 EAST ELEVATION
A-3.0 SCALE:1:100

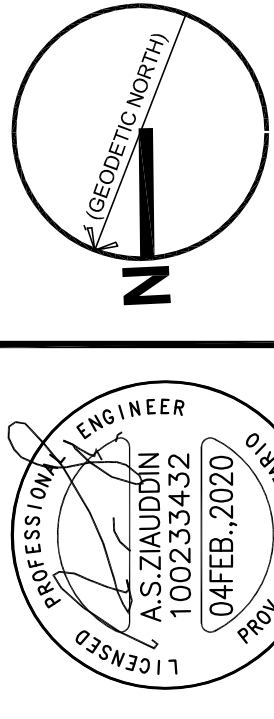
PP-2020-18

Attachment #5
Civil Drawings

June 1, 2020



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PROJECT NORTH

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PROJECT:

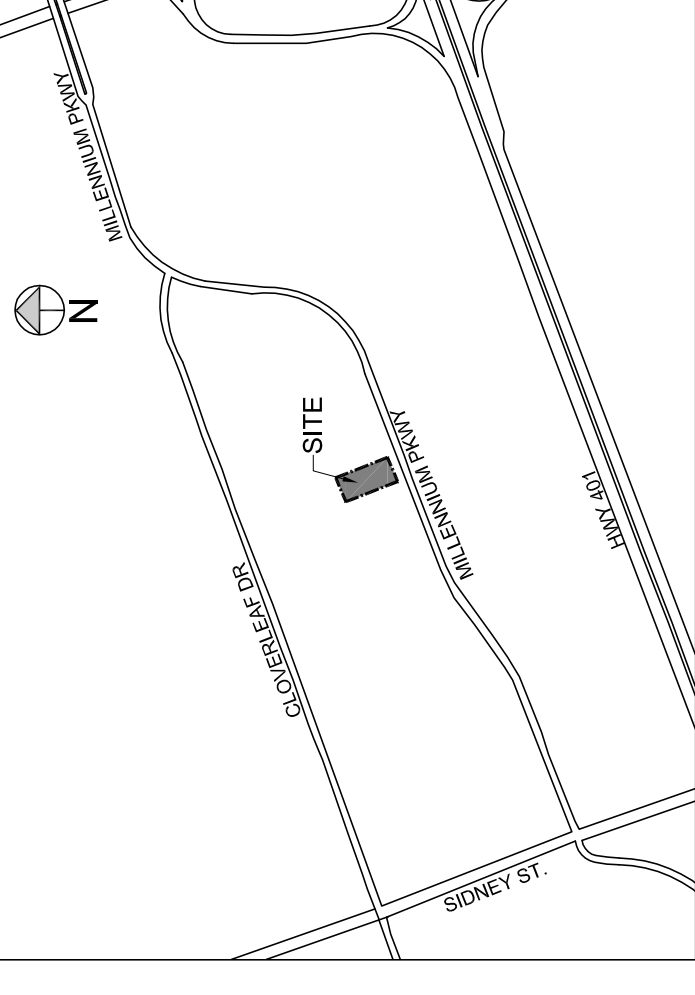
**TRU BY HILTON
 PROPOSED HOTEL
 MILLENNIUM PARKWAY
 BELLEVILLE, ON**

DRAWING TITLE:

**SITE GRADING
 PLAN**

| | | | |
|--------------|----|--------------|--------------|
| DRAWN BY: | AZ | DATE: | 08 JAN. 2020 |
| CHECKED BY: | AZ | SCALE: | 1:200 |
| PROJECT NO.: | | DRAWING NO.: | |

19-63 C1



**KEY PLAN
 SCALE: N.T.S.**

LEGAL DESCRIPTION:

PART OF LOTS 29 & 30 REGISTERED PLAN 22 COUNTY OF HASTINGS CITY OF HASTINGS

APPLICANT:

n Architecture Inc
 9120 Leslie Street,
 Suite-208 Richmond Hill,
 Ontario, L4B 3J9
 T: 416.303.4821 F: 1.866.340.5265
 E: info@narchitecture.com
 www.narchitecture.com

SURVEYOR'S INFORMATION:

SURVEY INFORMATION TAKEN FROM THAM SURVEYING LIMITED 8888 KEELE STREET, UNIT 7, VAUGHAN, ONTARIO L4K 2N2
 PHONE: 905-761-6521
 FAX: 905-761-6523

ELEVATIONS:

SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO THE CITY OF TORONTO BENCHMARK No. 00819698047 (CGVD-1928-1978), CITY OF TORONTO, HAVING AN ELEVATION 98.011m, BENCHMARK STREET OVER HIGHWAY 401, TABLE SET HORIZONTALLY IN NORTH EAST FACE OF MIDDLE CONCRETE PILLAR AT SOUTH END OF THE BRIDGE, 61 CM ABOVE GROUND LEVEL AND 18.3 M SOUTH OF CENTERLINE OF HIGHWAY 401.

BEARING NOTES:

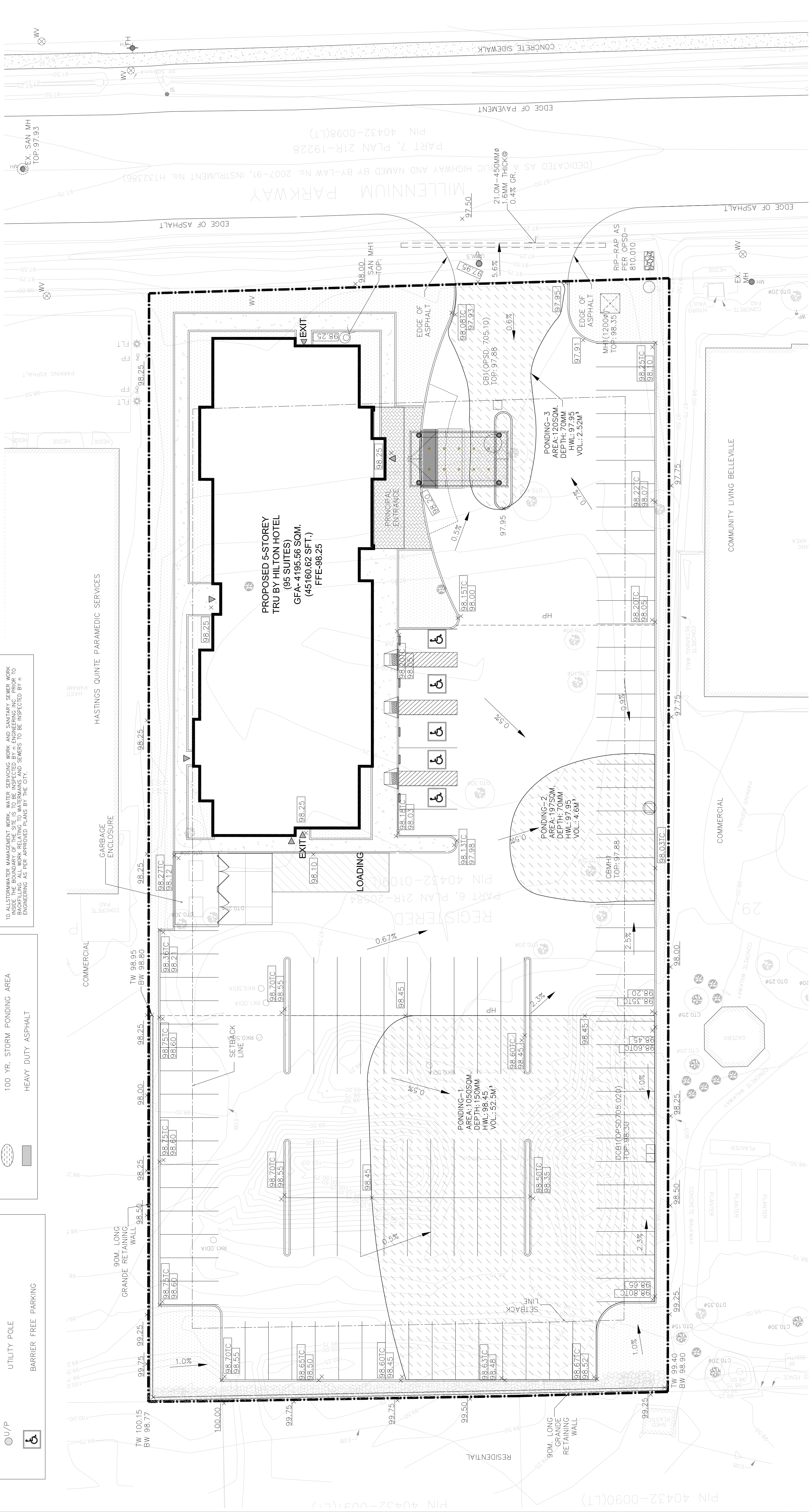
BEARINGS SHOWN HEREON ARE GRID BEARINGS. ALL POINTS: 008196980326 (N4895047.037; E233019.771) AND 00819750216 (N4894674.363; E231931.761) AS SHOWN ON THIS PLAN AND ARE BASED ON M.T.M. ZONE 9, CENTRAL MERIDIAN 76° 30' WEST LONGITUDE, NAD 83 (ORIGINAL).

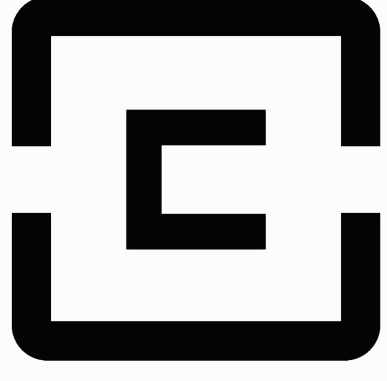
OWNER'S INFORMATION:

PUNA GROUP
 81 ZENWAY BLVD UNIT 12
 WOODBRIDGE, ON L4H 0R6
 TEL: 647-839-0759
 EMAIL: info@punagroup.com
 CONTACT: SUNNY PUNA

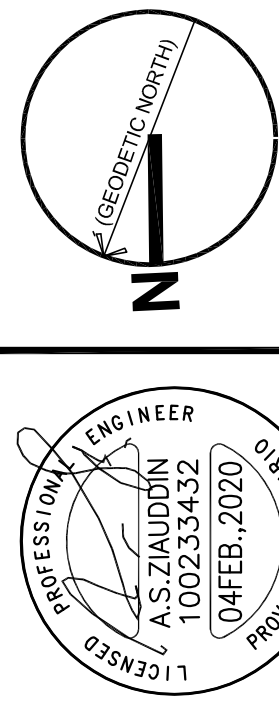
GENERAL NOTES:

1. READ THIS DRAWING IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL AND LANDSCAPING PLANS.
2. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE APPLICABLE HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
3. ALL WORK MATERIALS AND CONSTRUCTION METHODS TO CONFORM WITH THE LATEST STANDARDS, SPECIFICATIONS, POLICES, REGULATIONS, GUIDELINES AND LAWS FOR THE CITY OF TORONTO, THE ONTARIO BUILDING CODE (OBC), MINISTRY OF THE ENVIRONMENT (MOE), ENVIRONMENTAL PROTECTION ACT AND THE WATER RESOURCES ACT. THE MINISTRY OF TRANSPORTATION STANDARDS WILL APPLY WHERE REQUIRED.
4. THE INFORMATION SHOWN FOR EXISTING UTILITIES WAS COMPILED FROM LOCATES INFORMATION PROVIDED BY THE UTILITY COMPANIES. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY VARIANCE IS TO BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONDUCTING PRIOR TO CONSTRUCTION WILL BE AT THE CONTRACTOR'S EXPENSE.
5. THIS PLAN SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS' PLANS. ANY DISCREPANCIES SHALL BE CLARIFIED PRIOR TO CONSTRUCTION. INFORMATION RELATED TO THIS PLAN SHALL BE TAKEN FROM THE SITE PLAN PREPARED BY THE ARCHITECT.
6. ALL DIMENSIONS AND ELEVATIONS TO BE VERIFIED PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES FOUND PRIOR TO OR DURING CONSTRUCTION SHALL BE CLARIFIED WITH THE ENGINEER.
7. ALL WORK IN THE MUNICIPAL RIGHT OF WAY AND EASEMENTS IS TO BE INSPECTED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION. ALL WATERMANS AND SENSORS TO BE INSPECTED BY THE CITY AS PER THE SITE PLAN AGREEMENT.
8. ALL DISTURBED AREAS TO BE RESTORED WITH MINIMUM 200MM TOPSOIL AND NO. 1 NURSERY SOIL.
9. THE CONTRACTOR AGREES NOT TO MAKE A MATERIAL CHANGE OR CAUSE A MATERIAL CHANGE TO BE MADE TO A PLAN, SPECIFICATION, DOCUMENT OR OTHER INFORMATION, INCLUDING DETAILS WITH AND OBTAINING WRITTEN AUTHORIZATION OF THE MUNICIPAL AND PROJECT ENGINEER.
10. ALL WATER MANAGEMENT WORK, WATER SERVICES WORK AND SANITARY SEWER WORK SHALL BE IN ACCORDANCE WITH THE CITY OF TORONTO STANDARDS. ALL WORK RELATING TO WATERMANS AND SENSORS TO BE INSPECTED BY A CITY ENGINEER AS PER APPROVED PLANS BY THE CITY.



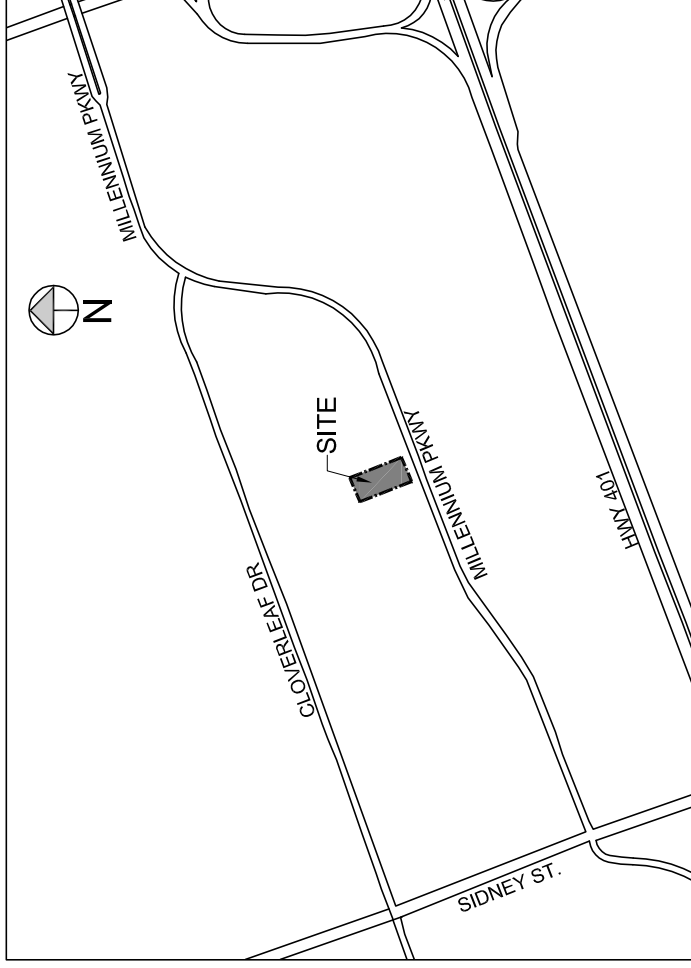


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 E: info@narchitecture.com
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PROJECT NORTH

NOT FOR CONSTRUCTION



KEY PLAN
SCALE: N.T.S.

LEGAL DESCRIPTION:
 PART OF LOTS 29 & 30 REGISTERED PLAN 22 OF THE CITY OF HASTINGS COUNTY OF HASTINGS

APPLICANT:
 n Architecture Inc
 Suite-208, Richmond Hill, Ontario, L4B 3J9
 T: 416.303.4821 F: 1.866.340.5265
 E: info@narchitecture.com
 www.narchitecture.com

SURVEYOR'S INFORMATION:
 SURVEY INFORMATION TAKEN FROM CHAM SURVEYING LIMITED 1000 SHEPPARD AVENUE EAST, SUITE 101, SCARBOROUGH, ONTARIO M1S 1T7
 8888 KEELE STREET, UNIT 7, VAUGHAN, ONTARIO L4K 2N2
 PHONE: 905-761-6521
 FAX: 905-761-6523

ELEVATIONS:
 ELEVATIONS SHOWN HEREON ARE GEODETIC BEARINGS AND ARE DERIVED FROM TORONTO BENCHMARK No. 0819698047 (CGVD-1928:1978), CITY OF TORONTO, HAVING AN ELEVATION 98.01m. BENCHMARK SET ON CONCRETE BRIDGE CARRYING SIDNEY HURONTARIO HIGHWAY OVER RIVER OF HURONTARIO IN NORTH EAST CORNER OF MIDDLE CONCRETE PILLAR AT SOUTH END OF THE BRIDGE, 61 CM ABOVE GROUND LEVEL AND 18.3 M SOUTH OF CENTERLINE OF HIGHWAY 401.

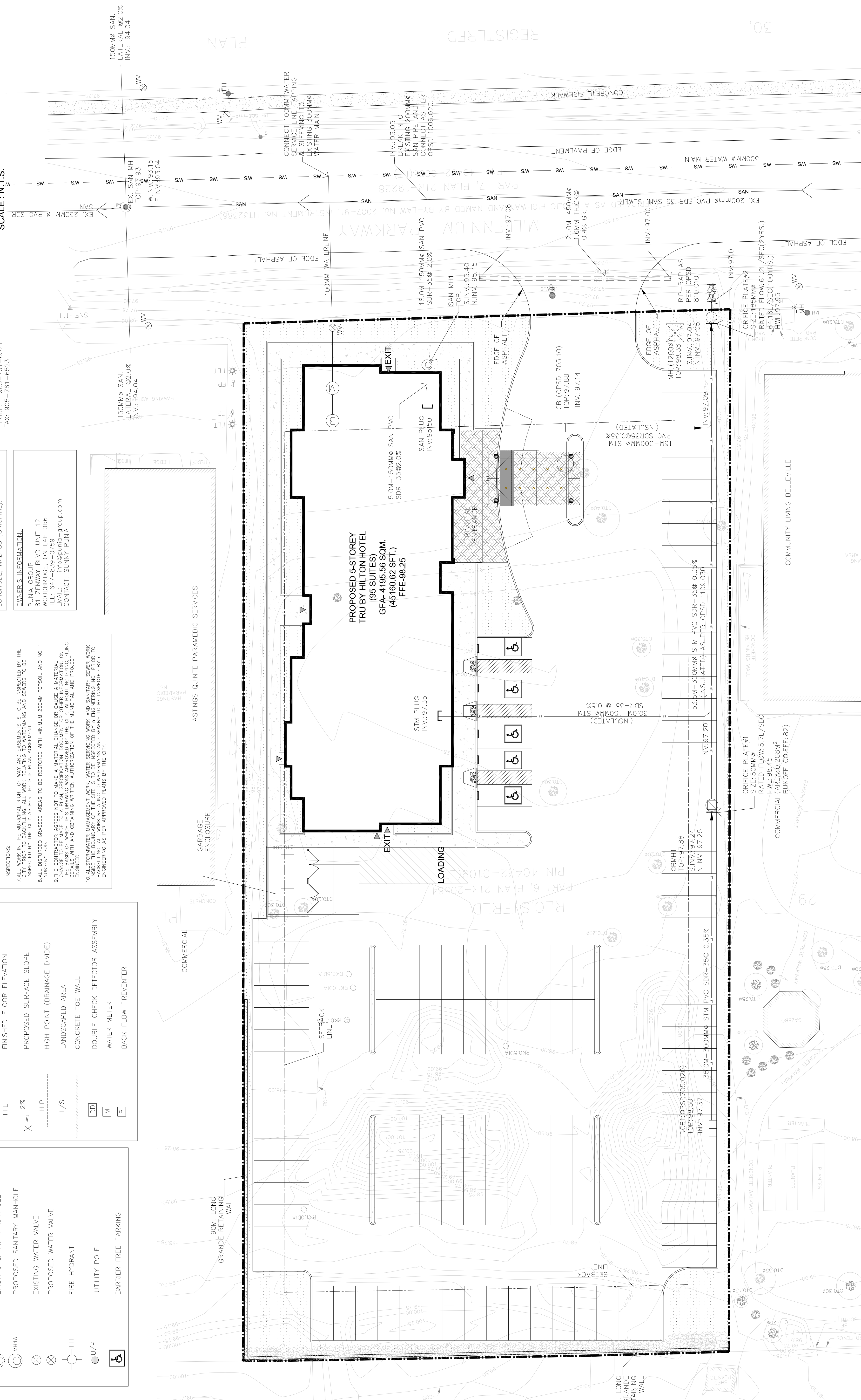
BEARING NOTES:
 BEARINGS SHOWN HEREON ARE GRID BEARINGS AND ARE DERIVED FROM (N489504.037) (E233019.771) AND (N4894674.363) (E231931.761) AS SHOWN ON THIS PLAN AND ARE BASED ON M.T.M. ZONE 9, CENTRAL MERIDIAN 76° 30' WEST LONGITUDE, NAD 83 (ORIGINAL).

OWNER'S INFORMATION:
 PUNIA GROUP
 81 ZENWAY BLVD UNIT 12
 WOODBRIDGE, ON L4H 0R6
 TEL: 647-839-0759
 EMAIL: info@punia-group.com
 CONTACT: SUNNY PUNIA

GENERAL NOTES:
 1. READ THIS DRAWING IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL AND LANDSCAPING SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
 2. ALL WORK SHALL BE CARRIED OUT IN COMPLIANCE WITH THE APPLICABLE HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
 3. ALL WORK, MATERIALS AND CONSTRUCTION METHODS TO CONFORM WITH THE LATEST EDITIONS OF THE ONTARIO BUILDING CODE (OBC), MINISTRY OF THE ENVIRONMENT (M.E.), ENVIRONMENTAL PROTECTION ACT, WATER RESOURCES ACT, AND ANY OTHER APPLICABLE LEGISLATION AND REGULATIONS.
 4. THE INFORMATION SHOWN FOR EXISTING UTILITIES WAS COMPILED FROM LOCATES INFORMATION AND RECORD DRAWINGS FROM THE CITY OF TORONTO. THE INFORMATION IS SHOWN FOR GENERAL INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY VARIANCE IS TO BE IMMEDIATELY REPORTED TO THE ENGINEER. LOST TIME DUE TO FAILURE OF THE UTILITIES SHALL BE AT THE CONTRACTOR'S EXPENSE.
 5. THIS PLAN SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS' PLANS. ANY DISCREPANCIES SHALL BE CLARIFIED PRIOR TO CONSTRUCTION. INFORMATION RELATED TO THIS PLAN SHALL BE TAKEN FROM THE SITE PLAN PREPARED BY THE ARCHITECT. DISCREPANCIES FOUND PRIOR TO OR DURING CONSTRUCTION SHALL BE CLARIFIED WITH THE ENGINEER.
 6. ALL DIMENSIONS AND ELEVATIONS TO BE VERIFIED PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES FOUND PRIOR TO OR DURING CONSTRUCTION SHALL BE CLARIFIED WITH THE ENGINEER.
 7. ALL WORK IN THE MUNICIPAL RIGHT OF WAY AND EASEMENTS IS TO BE INSPECTED BY THE CITY PRIOR TO BEING ALLOWED TO PROCEED. ALL WORK RELATING TO WATERMANS AND SEWERS TO BE INSPECTED BY THE CITY FOR THE SITE PLAN APPROVAL.
 8. ALL EXISTING DRESSED AREAS TO BE RESTORED WITH MINIMUM 200MM TOPSOIL AND NO. 1 NURSERY SOIL.
 9. THE CONTRACTOR AGREES NOT TO MAKE A MATERIAL CHANGE OR CAUSE A MATERIAL CHANGE TO BE MADE TO A PLAN, SPECIFICATION, DOCUMENT OR OTHER INFORMATION, ON THE BASIS OF THE INFORMATION SHOWN ON THIS PLAN WITHOUT THE WRITTEN AUTHORIZATION OF THE MUNICIPAL AND PROJECT ENGINEER.
 10. ALL STORMWATER MANAGEMENT WORK, WATER SERVING WORK AND SANITARY SEWER WORK INSIDE THE BOUNDARY SETBACKS TO BE INSPECTED BY AN ENGINEERING INSPECTOR TO THE SATISFACTION OF THE MUNICIPAL AND PROJECT ENGINEER AS PER APPROVED PLANS BY THE CITY.

| | |
|--|----------------------------------|
| | PROPERTY LINE |
| | MINIMUM SET BACK |
| | PROPOSED CONCRETE CURB |
| | PROPOSED DEPRESSED CONCRETE CURB |
| | EXISTING STORM MANHOLE |
| | PROPOSED STORM MANHOLE |
| | EXISTING CATCH BASIN |
| | PROPOSED CATCH BASIN |
| | PROPOSED CATCH BASIN MANHOLE |
| | EXISTING SANITARY MANHOLE |
| | PROPOSED SANITARY MANHOLE |
| | EXISTING WATER VALVE |
| | PROPOSED WATER VALVE |
| | FIRE HYDRANT |
| | UTILITY POLE |
| | BARRIER FREE PARKING |

| | |
|--|--------------------------------|
| | MAIN ENTRANCE |
| | OVER HEAD DOOR |
| | OVERLAND FLOW ROUTE |
| | DEPRESSED CURB |
| | EXISTING ELEVATION TO REMAIN |
| | EXISTING ELEVATION |
| | PROPOSED TOP/CURB ELEVATION |
| | PROPOSED ELEVATION |
| | FINISHED FLOOR ELEVATION |
| | PROPOSED SURFACE SLOPE |
| | HIGH POINT (DRAINAGE DIVIDE) |
| | LANDSCAPED AREA |
| | CONCRETE TOE WALL |
| | DOUBLE CHECK DETECTOR ASSEMBLY |
| | WATER METER |
| | BACK FLOW PREVENTER |



| No. | Date | Version | Dwn. |
|-----|--------------|----------------|------|
| 1. | 04 FEB. 2020 | ISSUED FOR SPA | AZ |

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PROJECT:

**TRU BY HILTON
 PROPOSED HOTEL
 MILLENNIUM PARKWAY
 BELLEVILLE, ON**

**SITE SERVICING
 PLAN**

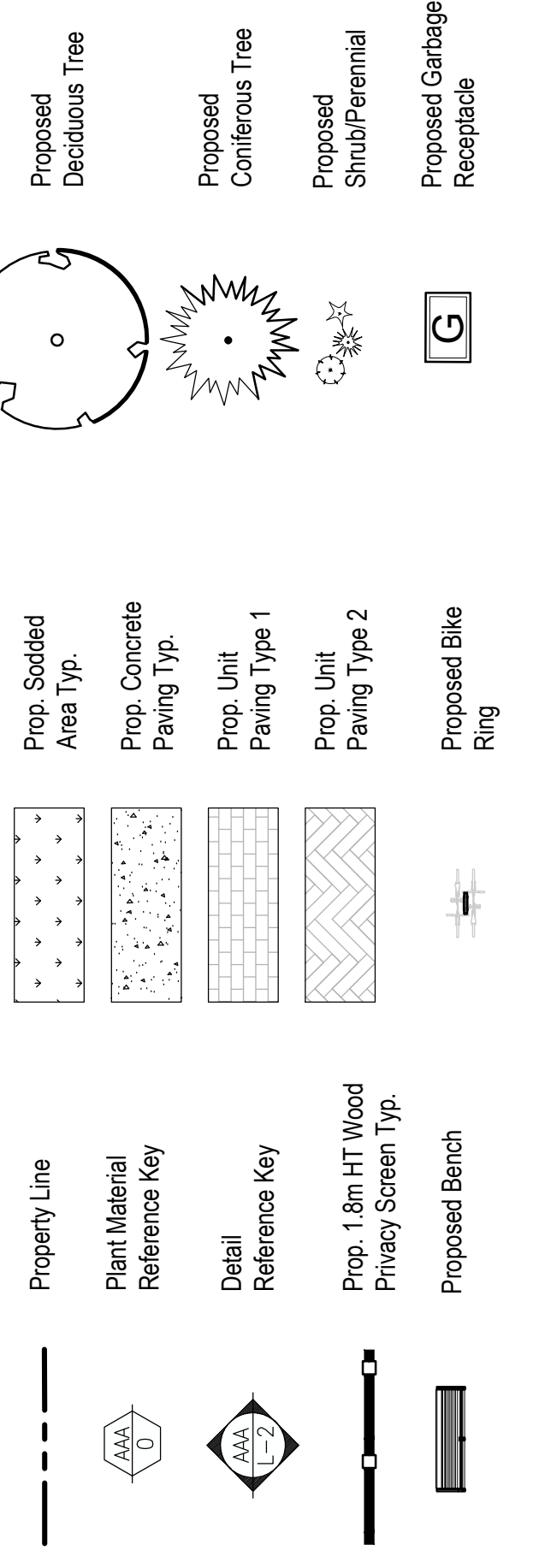
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|--------------|-------|--------------|--------------|
| DRAWN BY: | AZ | DATE: | 08 JAN. 2020 |
| CHECKED BY: | AZ | SCALE: | 1:200 |
| PROJECT NO.: | 19-63 | DRAWING NO.: | C2 |

PP-2020-18

Attachment #6
Landscape Drawings

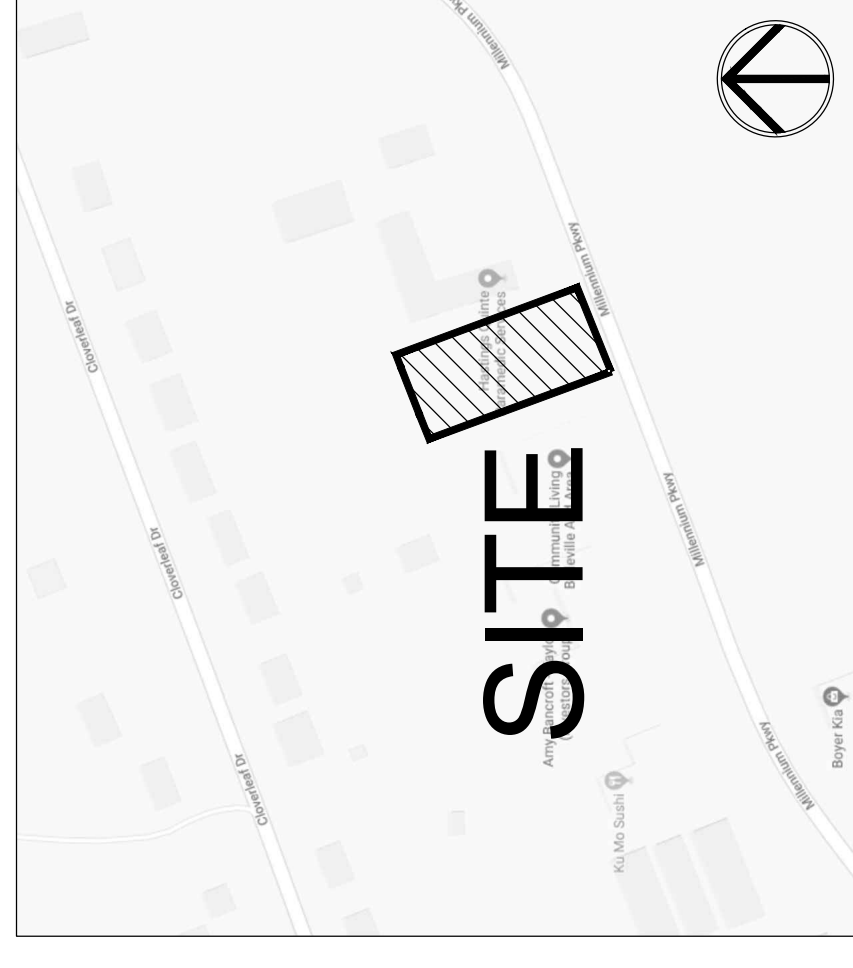
June 1, 2020

Legend



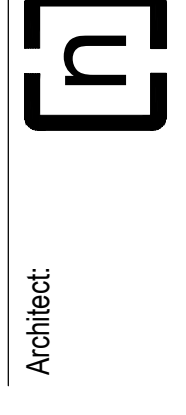
Proposed Plant Material List

| KEY | QNTY | BOTANICAL NAME | COMMON NAME | HT/CAL | SPREAD | ROOT | DROUGHT TOLERANT | NATIVE | REMARKS |
|---------------------------|------|--|----------------------------------|--------|--------|--------|------------------|--------|--------------------------|
| DECIDUOUS TREES | | | | | | | | | |
| ARU | 7 | Acer rubrum | Native Red Maple | 70 mm | B.&B. | B.&B. | High | Yes | Full Form |
| TCO | 10 | Tilia cordata 'Greenspire' | Greenspire Linden | 70 mm | B.&B. | B.&B. | High | Yes | Full Form |
| CONIFEROUS TREES | | | | | | | | | |
| TOW | 5 | Thuja occidentalis | White Cedar | 100 cm | B.&B. | B.&B. | Yes | Yes | Full Form |
| DECIDUOUS SHRUBS | | | | | | | | | |
| HFB | 209 | Hydrangea paniculata 'Bombayel' | Dwarf Bombahell Hydrangea | 60 cm | 5 gal. | 5 gal. | High | Yes | Full Form |
| SBC | 274 | Spiraea bumalda 'Gold Mound' | Gold Mound Spirea | 60 cm | C.G. | C.G. | High | Yes | Full Form |
| CONIFEROUS SHRUBS | | | | | | | | | |
| EFE | 20 | Euonymus fortunei 'Emerald Gaiety' | Emerald Gaiety Euonymus | 60 cm | C.G. | C.G. | High | Yes | Full Form |
| PAM | 51 | Pinus mugo mugo | Dwarf Mugo Pine | 70 cm | C.G. | C.G. | High | Yes | Full Form |
| TMH | 92 | Taxus media 'Hickel' | Hickel's Yew | 80 cm | C.G. | C.G. | High | Yes | Full Form |
| ORNAMENTAL GRASSES | | | | | | | | | |
| CAC | 127 | Calamagrostis acutiflora 'Karl Foerster' | Karl Foerster Feather Reed Grass | 5 Gal. | 5 Gal. | 5 Gal. | Yes | No | Full Form |
| SCS | 130 | Schizachyrium scoparium | Little Bluestem | 2 Gal. | 2 Gal. | 2 Gal. | High | Yes | Full Form - Native |
| PERENNIALS | | | | | | | | | |
| GER | 227 | Geranium 'Rozanne' | Hardy Cranesbill Geranium | 2 Gal. | 2 Gal. | 2 Gal. | High | Yes | Full Form (PROY. Winner) |



Key Map

msda
MARTON SMITH LANDSCAPE ARCHITECTS
 170 The Donway W Suite 206
 Toronto, Ontario, Canada, M3C 2G3
 tel. 416.492.9966 | email: info@msda.ca



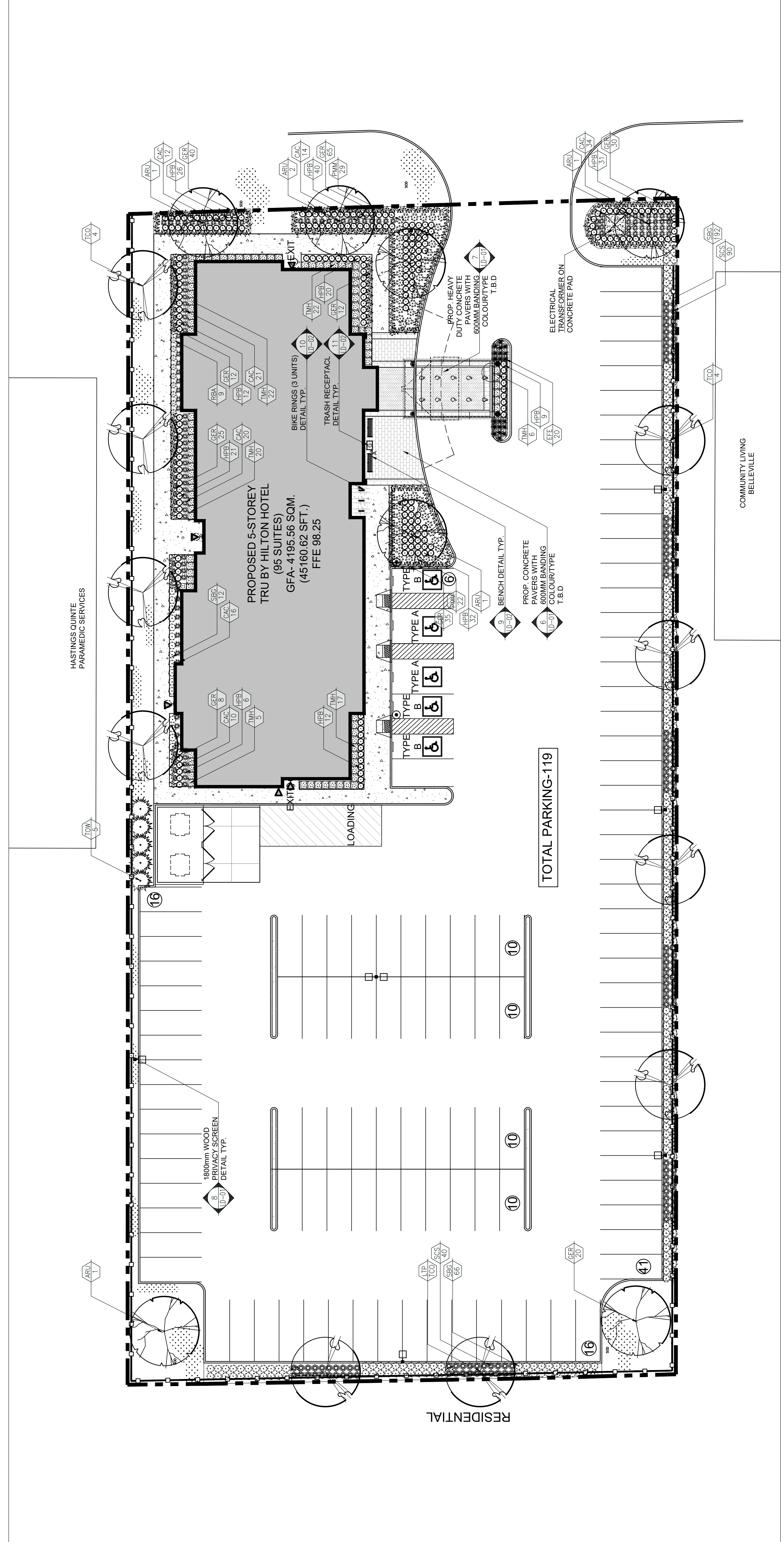
nArchitecture Inc.
 1000 SHEPPARD AVENUE EAST
 SUITE 1000
 SCARBOROUGH, ONTARIO M1S 1T5
 TEL: 416.291.1000
 WWW.NARCHITECTURE.COM

Client/Owner:



Municipality:

Notes:



DO NOT SCALE DRAWINGS • PRELIMINARY NOT FOR CONSTRUCTION • THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY L. ARCHITECT • SIGNED
 DATE
 ANY AND ALL GRADING INFORMATION REFER TO SITE GRADING ENGINEERING DRAWINGS AND SLOPES ARE TO EXCEED ±1 • PROPERTY LINES AND SETBACKS MUST BE CONFORMED BY CONTRACTOR PRIOR TO CONSTRUCTION • ANY AND ALL RETAINING WALLS MUST BE APPROVED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION
 All drawings prepared and checked by the contractor. All drawings have been checked and shall remain the property of the Landscape Architect. Copying or reproduction in part or whole without the written consent of L. Architects shall not be used for construction unless sealed & SIGNED.
 All drawings prepared and checked by the contractor. All drawings have been checked and shall remain the property of the Landscape Architect. Copying or reproduction in part or whole without the written consent of L. Architects shall not be used for construction unless sealed & SIGNED.
 Project: **Proposed Hotel Development and Site Upgrades**
 Millennium Parkway
 Belleville, Ontario
 Scale: **1:200** Date: **Jan 2020**
 Drawn By: **C. J.** Checked By: **L.M.**
 Drawing Title: **Landscape Plan**
 Project No. **20103** Sheet No. **L1-01**



nArchitecture Inc
1000 SHEPPARD AVENUE EAST
SUITE 1000
SCARBOROUGH, ONTARIO M1S 1T5
TEL: 416.291.1000
WWW.NARCHITECTURE.COM

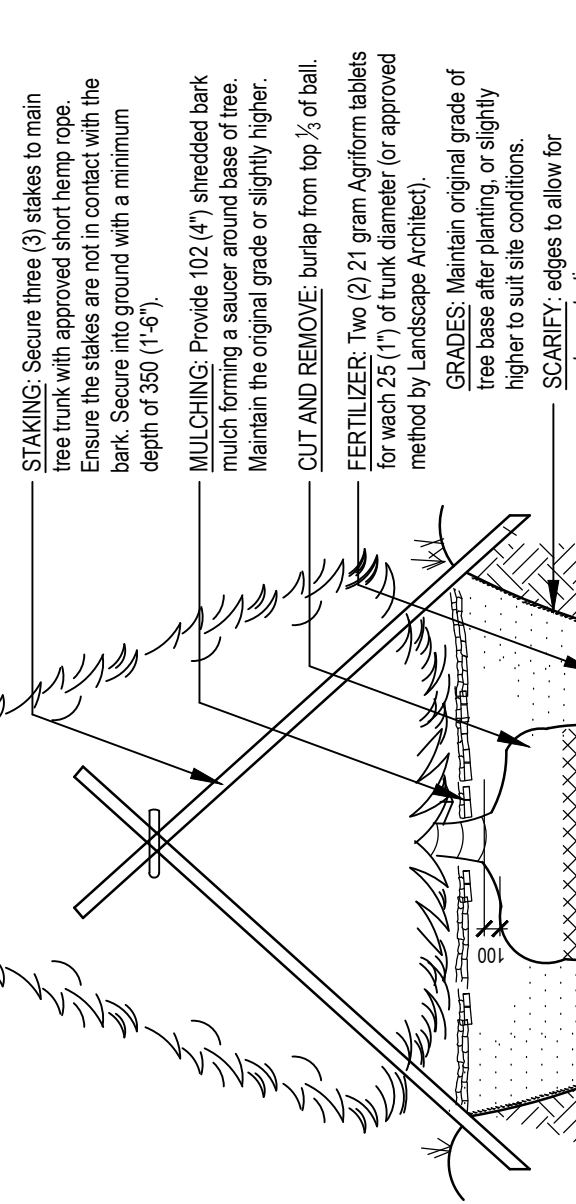
Client/Owner:



Municipality:

Notes:

- PLANTING SOIL MIXTURE:** (Mix thoroughy)
- A. For ideal situations mix:
 - 6 parts good quality topsoil
 - 2 parts well rotted cow manure
 - 1 part perlite
 - B. For clay or wet situations:
 - Contact consultants for proper soil mixture, before proceeding with work
 - C. Add 0.58 kg (1 lb.) of bonemeal per cubic yard of soil compared to eliminate air pockets and prevent settlement.



NOTE: All tree stakes, ties, wraps and guards are to be removed one year after installation by the landscape contractor.

ALL GIVEN DIMENSIONS ARE IN METRIC

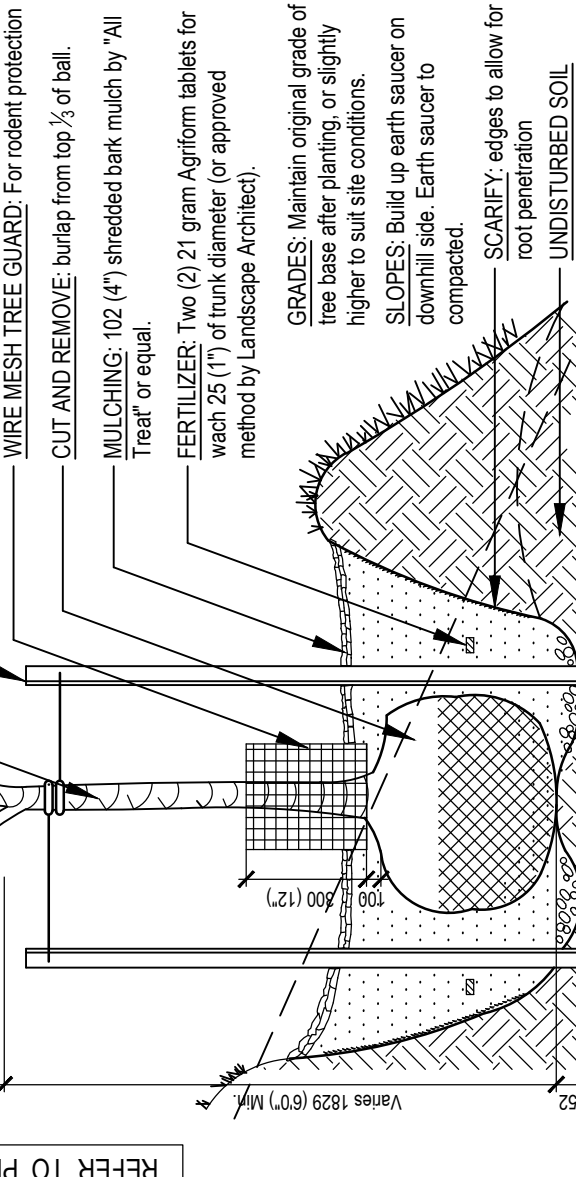
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- D. Soil mixture should be firmly compacted to eliminate air pockets and prevent settlement.

STANDARD CONIFEROUS TREE DETAIL
SCALE: N.T.S. DATE: LD-01

- PRUNING:** 1/3 to remove damaged or objectionable branches following proper horticultural practices. **DO NOT PRUNE LEADERS.**
- WRAPPINGS:** Approved tree wraps from top of ball to 305 (12) above first branch. Secure with binder wire, wound opposite to wrapping. Secure top, middle and bottom.
- GUYING:** 1. wo 51 x 51 x 6 (2" x 2" x 1/2") steel T-bars, minimum 2.438 (6'-7") long, and drilled to receive #10 wire threaded through 13 (1/2") Ø rubber hoses to support tree. Paint "T" flat black.
- WIRE MESH TREE GUARD:** For rodent protection use 100 (12) galvanized wire mesh.
- CUT AND REMOVE:** Strip from top 1/3 of ball, treat or equal.
- MULCHING:** 100 (12") shredded bark mulch by 100 (12) wide, 25 (1") of trunk diameter (or approved method by Landscape Architect).
- FERTILIZER:** Two (2) 21 gram Agriform tablets per cubic yard of soil.
- GRADES:** Maintain original grade of tree base after planting, or slightly higher to suit site conditions.
- SLOPES:** Build up earth saucer on compacted.
- SCARIFY:** edges to allow for root penetration.
- UNDISTURBED SOIL**



NOTE: All tree stakes, ties, wraps and guards are to be removed one year after installation by the landscape contractor.

ALL GIVEN DIMENSIONS ARE IN METRIC

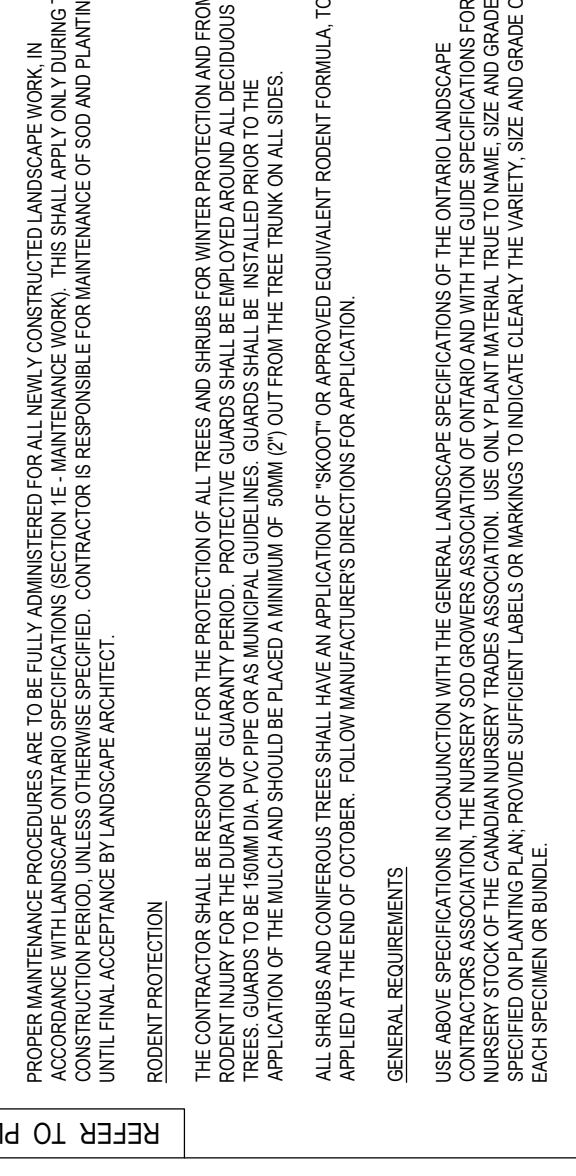
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 - Contact consultants for proper soil mixture, before proceeding with work
- C. Add 0.58 kg (1 lb.) of bonemeal per cubic yard of soil
- D. Soil mixture should be firmly compacted to eliminate air pockets and prevent settlement.

STANDARD DECIDUOUS TREE DETAIL
SCALE: N.T.S. DATE: LD-01

- PLANT MATERIAL INSTALLATION**
- ALL TREES, SHRUBS AND GROUNDCOVERS SHALL BE PLANTED AS SHOWN ON THE PLANTING PLAN. ALL BEES TO RECEIVE A COVER OF CLEAN MULCH TO A DEPTH OF 100MM (4") FOR GUYING AND STAKING TREES. REFER TO PLANTING DETAILS. WRAP CONTRACTORS ASSOCIATION.
- PLANT MATERIAL SIZES AND CONDITIONS ARE TO BE AS INDICATED ON THE LANDSCAPE DRAWING.
- THE INDIVIDUAL PLANT GROUPINGS TOTAL AS ILLUSTRATED ON THE PLANTING PLAN SUPERSEDES THE ESTIMATED QUANTITY ON THE DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE CORRECT QUANTITY AND SPECIFICATIONS OF ALL PLANT MATERIALS. CONTRACTOR WILL ASSUME FULL RESPONSIBILITY FOR LANDSCAPE ARCHITECT IS NOTIFIED OF DISCREPANCIES.
- MULCH - SHREDED PINE MULCH "ORO DARK" OR APPROVED EQUAL. LANDSCAPE ARCHITECT TO APPROVE MULCH BEFORE INSTALLATION.
- GENERAL MAINTENANCE**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND SHRUBS FOR WINTER PROTECTION AND FROM ROBERT INJURY FOR THE DURATION OF GUARANTEE PERIOD. PROTECTIVE GUARDS SHALL BE EMPLOYED AROUND ALL DECIDUOUS TREES AND SHRUBS TO PROTECT THEM FROM DAMAGE TO THE TRUNK AND BRANCHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE APPLICATION OF THE BULKING AND SHOULD BE REPLACED MINIMUM OF 50MM (2") DEPTH FROM THE TREE TRUNK AND BRANCHES.
- GENERAL REQUIREMENTS**
- USE ABOVE SPECIFICATIONS IN CONJUNCTION WITH THE GENERAL LANDSCAPE SPECIFICATIONS OF THE ONTARIO LANDSCAPE ARCHITECTS ASSOCIATION. USE ONLY PLANT MATERIALS FROM THE CANADIAN NURSERY TRADES ASSOCIATION. USE ONLY PLANT MATERIALS FROM THE CANADIAN NURSERY TRADES ASSOCIATION. USE ONLY PLANT MATERIALS FROM THE CANADIAN NURSERY TRADES ASSOCIATION. USE ONLY PLANT MATERIALS FROM THE CANADIAN NURSERY TRADES ASSOCIATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVAL FOR SUBSTITUTIONS TO VARIETY, SIZE OR GRADE FROM THE LANDSCAPE ARCHITECT. USE ONLY NURSERY STOCK AND CERTAIN SPECIFICATIONS OF PLANT MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVAL FOR SUBSTITUTIONS TO VARIETY, SIZE OR GRADE FROM THE LANDSCAPE ARCHITECT. USE ONLY NURSERY STOCK AND CERTAIN SPECIFICATIONS OF PLANT MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVAL FOR SUBSTITUTIONS TO VARIETY, SIZE OR GRADE FROM THE LANDSCAPE ARCHITECT. USE ONLY NURSERY STOCK AND CERTAIN SPECIFICATIONS OF PLANT MATERIALS.
- GUARANTEE PERIOD**
- PROTECTIVE GUARDS SHALL BE EMPLOYED AROUND ALL DECIDUOUS TREES AND SHRUBS TO PROTECT THEM FROM DAMAGE TO THE TRUNK AND BRANCHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE APPLICATION OF THE BULKING AND SHOULD BE REPLACED MINIMUM OF 50MM (2") DEPTH FROM THE TREE TRUNK AND BRANCHES.



NOTE: USE POLYMERIC JOINTING SAND WITH ALL UNIT PAVER APPLICATIONS

PRECAST UNIT PAVING - refer to plan for type and pattern of paving.

- 25 mm sharp clean sand - compact to 95% S.P.D.
- 150mm granular 'A' - compact to 95% S.P.D.
- 250mm granular 'B' - compact to 95% S.P.D.

CONCRETE CURB AT ENTRIES

Adjacent paving - refer to plan for type and pattern of paving.

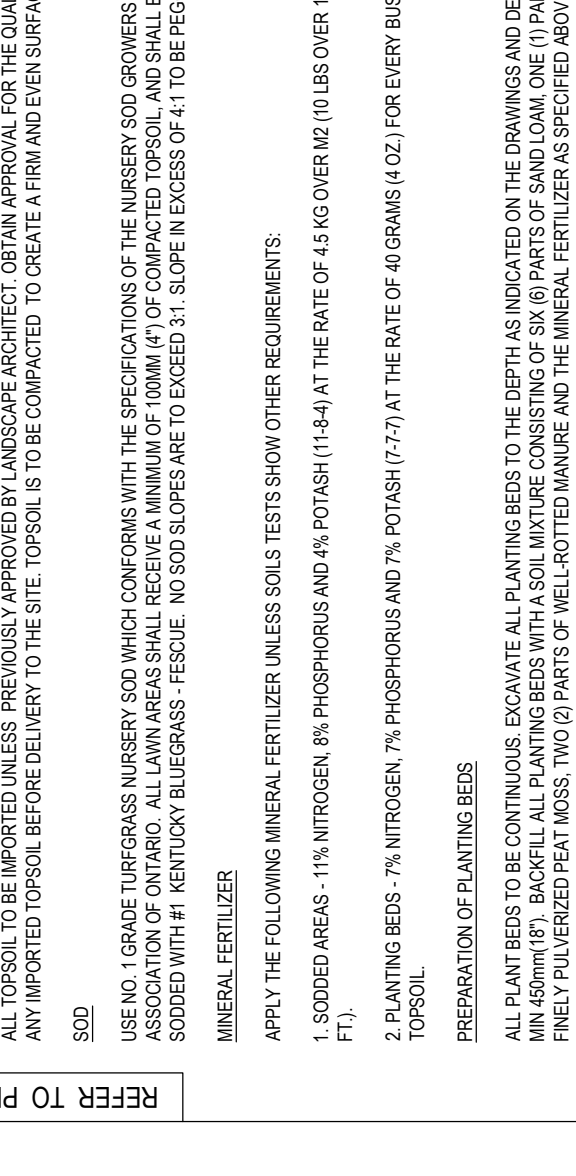
CONC. CURB (REFER TO 600.11-1 CONC. BARRIER CURB DETAIL)

Thoroughly compacted subgrade or Undisturbed Soil

VARIABLES - REFER TO PLAN

HEAVY DUTY (VEHICULAR) PRECAST CONCRETE UNIT PAVER INSTALLATION DETAIL
SCALE: N.T.S. DATE: LD-01

- LANDSCAPE SPECIFICATIONS**
- CONTRACTOR MUST CONTACT ALL UTILITY COMPANIES FOR STAKE OUTS PRIOR TO ANY EXCAVATION OR PLANTING.
- ROUGH GRADING**
- ROUGH GRADE AND FILL AREAS TO ESTABLISH SUBGRADE AS REQUIRED. PROVIDE DRAINAGE PATTERN AS INDICATED ON DRAWINGS. EXISTING GRADE TO REMAIN UNLESS SPECIFIED OTHERWISE. SLOPES MAY NOT EXCEED 3:1 UNLESS SPECIFIED OTHERWISE. EXISTING TREES TO REMAIN ON SITE ARE TO BE PROTECTED AS DETAIL.
- THE GRADING**
- FINE GRADE ALL AREAS TO FINISHED GRADES AS SHOWN ON LAYOUT OR GRADING PLAN OR ARCHITECT'S SITE PLAN. PROVIDE UNIFORM SLOPES AWAY FROM THE BUILDING UNLESS SPECIFIED OTHERWISE. SLOPES MAY NOT EXCEED 3:1 UNLESS SPECIFIED OTHERWISE.
- SPREADING OF TOPSOIL**
- FINE GRADE ALL AREAS TO FINISHED GRADES AS SHOWN ON LAYOUT OR GRADING PLAN OR ARCHITECT'S SITE PLAN. PROVIDE UNIFORM SLOPES AWAY FROM THE BUILDING UNLESS SPECIFIED OTHERWISE. SLOPES MAY NOT EXCEED 3:1 UNLESS SPECIFIED OTHERWISE.
- SCARIFY THE SUBSOIL** PRIOR TO THE SPREADING THE TOPSOIL. REMOVE ALL BERRS AND LEAVE A FINE TEXTURED EVEN SURFACE. TOPSOIL TO BE IMPORTED UNLESS PREVIOUSLY APPROVED BY LANDSCAPE ARCHITECT. OBTAIN APPROVAL FOR THE QUALITY OF ANY IMPORTED TOPSOIL BEFORE DELIVERY TO THE SITE. TOPSOIL IS TO BE COMPACTED TO CREATE A FIRM AND EVEN SURFACE.
- SOD**
- USE NO. 1 GRADE TURFGRASS NURSERY SOD WHICH CONFORMS WITH THE SPECIFICATIONS OF THE NURSERY SOD GROWERS ASSOCIATION OF ONTARIO. ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF 100MM (4") OF COMPACTED TOPSOIL, AND SHALL BE SODDED WITH #1 KENTUCKY BLUEGRASS - FESCUE. NO SOD SLOPES ARE TO EXCEED 2:1. SLOPE IN EXCESS OF 4:1 TO BE FESCUE. MINERAL FERTILIZER.
- APPLY THE FOLLOWING MINERAL FERTILIZER UNLESS SOIL TESTS SHOW OTHER REQUIREMENTS:**
1. SODDED AREAS - 1% NITROGEN, 8% PHOSPHORUS AND 6% POTASH (11-14) AT THE RATE OF 45 KG OVER 100 SQ. FT.
2. PLANTING BEDS - 7% NITROGEN, 7% PHOSPHORUS AND 7% POTASH (17-7) AT THE RATE OF 40 GRAMS (1.4 OZ.) FOR EVERY BUSHEL OF TOPSOIL.
- PREPARATION OF PLANTING BEDS**
- ALL PLANT BEDS TO BE CONTINUOUS. LOCATE ALL PLANTING BEDS TO THE DEPTH AS INDICATED ON THE DRAWINGS AND DETAILS. ALL PLANTING BEDS TO BE CONTINUOUS. LOCATE ALL PLANTING BEDS TO THE DEPTH AS INDICATED ON THE DRAWINGS AND DETAILS. ALL PLANTING BEDS TO BE CONTINUOUS. LOCATE ALL PLANTING BEDS TO THE DEPTH AS INDICATED ON THE DRAWINGS AND DETAILS.
- NOTE:** IF THE EXISTING SOIL CONDITIONS ARE CLAY OR WET IN NATURE, CONTACT THE LANDSCAPE ARCHITECT FOR INSTRUCTIONS OF A SUITABLE SOIL MIXTURE FAILURE TO DO THIS MAY RESULT IN DELAY OF APPROVAL AND ACCEPTANCE.



WINTER PROTECTION: Shrubs to be wrapped with biodegradable material following proper horticultural practice. **DO NOT PRUNE LEADERS.**

GUYING: As directed, appropriate to species and size of shrub.

MULCHING: 100 (12") shredded bark mulch by 100 (12) wide, 25 (1") of trunk diameter (or approved method by Landscape Architect).

CUT AND REMOVE: Strip from top 1/3 of ball as shown. (B.E. as per plant tag)

FERTILIZER: Two (2) 21 gram Agriform tablets or approved equivalent for each shrub in bed.

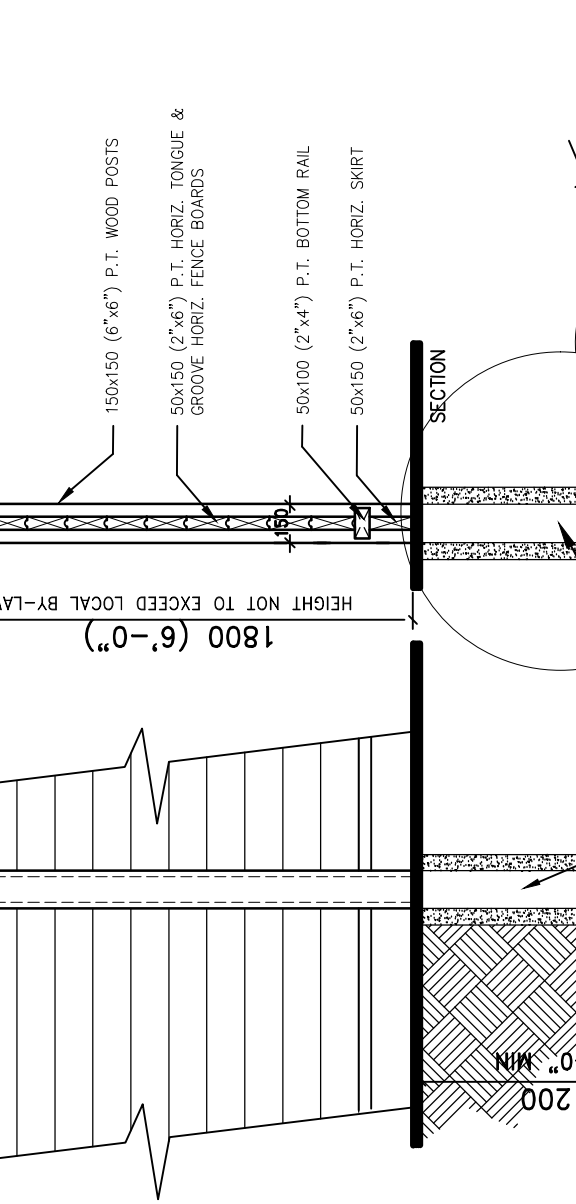
PREPARATION OF BED: Excavate shrub bed to size outlined on drawings, minimum 57 (18") depth. Remove any subsoil or rubbish off site unless otherwise directed.

SPACING: As directed.

FOR ROBERT CONTROL: Substrate specifications or soil "Sheet" at the end of October. Note: All tree stakes, ties and guards are to be removed one year after installation by the landscape contractor.

STANDARD SHRUB PLANTING DETAIL
SCALE: N.T.S. DATE: LD-01

- PLANTING SOIL MIXTURE:** (Mix thoroughy)
- A. For ideal situations mix:
 - 6 parts good quality topsoil
 - 2 parts well rotted cow manure
 - 1 part perlite
 - B. For clay or wet situations:
 - Contact consultants for proper soil mixture, before proceeding with work
 - C. Add 0.58 kg (1 lb.) of bonemeal per cubic yard of soil compared to eliminate air pockets and prevent settlement.



NOTE:

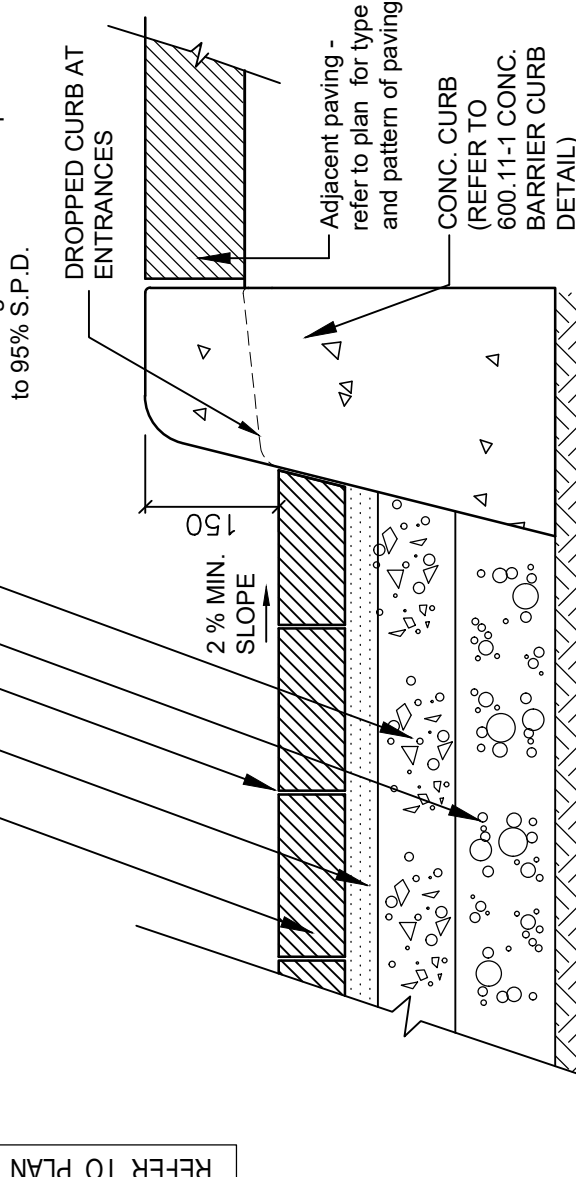
1. SECURE ALL LUMBER WITH DAMP RESISTANT GALVANIZED STEEL NAILS.
2. SECURE ALL LUMBER WITH DAMP RESISTANT GALVANIZED STEEL NAILS.
3. SECURE ALL LUMBER WITH DAMP RESISTANT GALVANIZED STEEL NAILS.
4. AS APPROVED BY OWNER - BEFORE BOARDING TO FINISH GRADE.
5. TOP RAIL CAP TO BE INSTALLED LEVEL WITH FINISH GRADE.
6. MAINTAIN MINIMUM HEIGHT OF FENCE AS INDICATED. MAINTAIN MINIMUM HEIGHT OF FENCE AS INDICATED. MAINTAIN MINIMUM HEIGHT OF FENCE AS INDICATED.
7. ONWARD BALANCE CODE AND OTHER APPLICABLE LOCAL MUNICIPAL BY-LAWS.
8. FENCE SHALL HAVE A MINIMUM SURFACE DENSITY OF 39 KG/50 SQ. M.

ADDITIONAL NOTES:

1. SECURE ALL LUMBER WITH DAMP RESISTANT GALVANIZED STEEL NAILS.
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1800 HT. WOOD SOUND BARRIER SCREEN
SCALE: N.T.S. HEIGHT NOT TO EXCEED LOCAL BY-LAW LD-01

- PRUNING:** (To suit species) Prune to remove damaged or objectionable branches following proper horticultural practice. **DO NOT PRUNE LEADERS.**
- GUYING:** As directed, appropriate to species and size of shrub.
- MULCHING:** 100 (12") shredded bark mulch by 100 (12) wide, 25 (1") of trunk diameter (or approved method by Landscape Architect).
- CUT AND REMOVE:** Strip from top 1/3 of ball as shown. (B.E. as per plant tag)
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- PREPARATION OF BED:** Excavate shrub bed to size outlined on drawings, minimum 57 (18") depth. Remove any subsoil or rubbish off site unless otherwise directed.
- SPACING:** As directed.
- FOR ROBERT CONTROL:** Substrate specifications or soil "Sheet" at the end of October. Note: All tree stakes, ties and guards are to be removed one year after installation by the landscape contractor.



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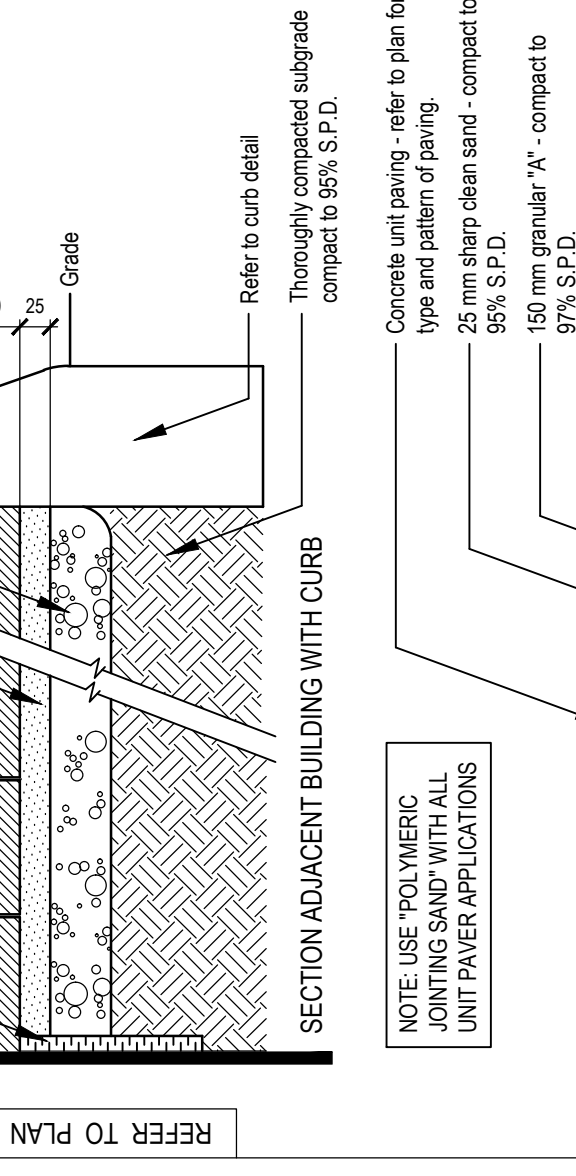
CONC. CURB (REFER TO 600.11-1 CONC. BARRIER CURB DETAIL)

Thoroughly compacted subgrade or Undisturbed Soil

VARIABLES - REFER TO PLAN

STANDARD CONIFEROUS TREE DETAIL
SCALE: N.T.S. DATE: LD-01

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ALL GIVEN DIMENSIONS ARE IN METRIC

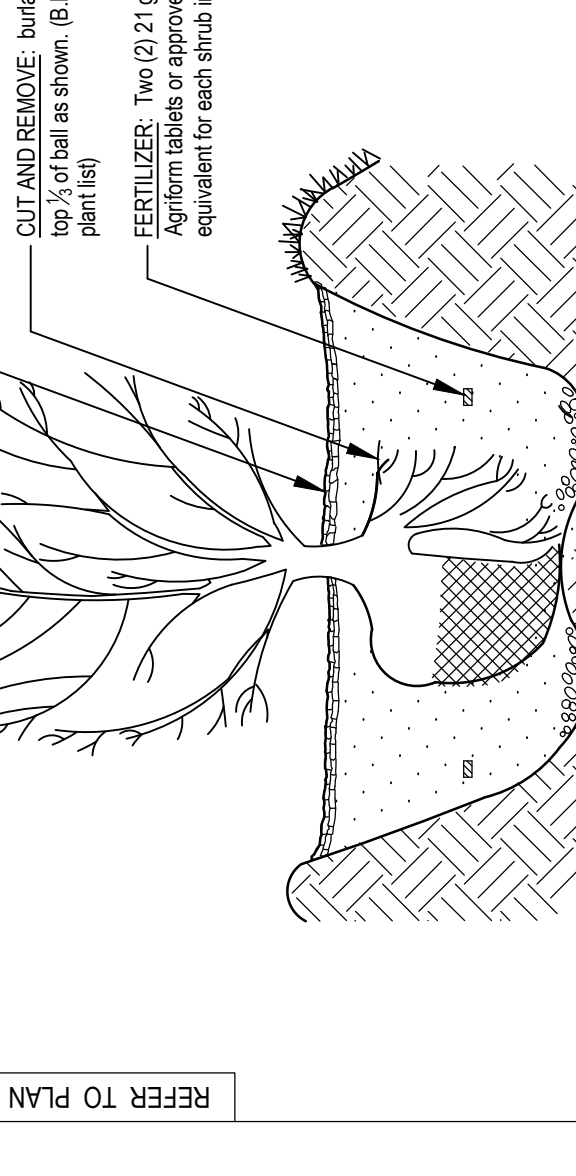
WIRE BASKETS OR STRINGS ON ROOT BALL - CUT AND TOP REMOVE 1/3

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STANDARD DECIDUOUS TREE DETAIL
SCALE: N.T.S. DATE: LD-01

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STANDARD CONIFEROUS TREE DETAIL
SCALE: N.T.S. DATE: LD-01

PP-2020-18

Attachment #7
Photometrics Drawing

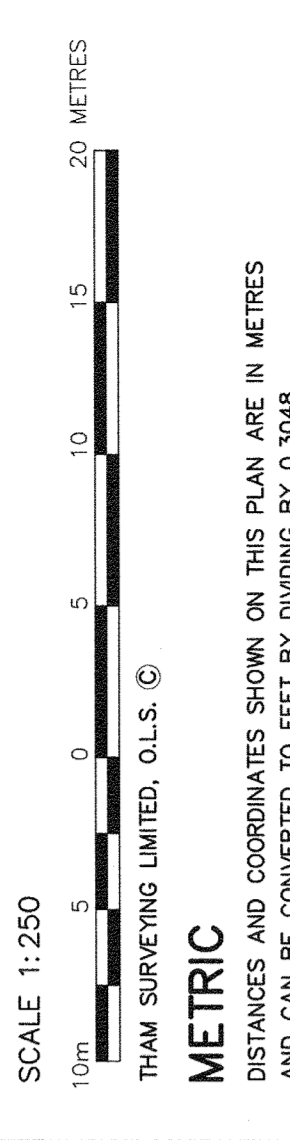
June 1, 2020

PP-2020-18

Attachment #8
Survey

June 1, 2020

**PLAN OF SURVEY AND
PLAN OF TOPOGRAPHY OF
PART OF LOT 29 & 30
REGISTERED PLAN 22
GEOGRAPHIC TOWNSHIP OF THURLOW
CITY OF BELLEVILLE
COUNTY OF HASTINGS**



- LEGEND**
- DENOTES MONUMENT SET
 - DENOTES MONUMENT FOUND
 - ▨ DENOTES IRON BAR
 - ▧ DENOTES STANDARD IRON BAR
 - ▩ DENOTES SHORT STANDARD IRON BAR
 - DENOTES IRON NAIL
 - PL DENOTES PLAN 21R-19228
 - PL2 DENOTES PLAN 21R-8486
 - CALCD DENOTES CALCULATED FROM PL AND PL2
 - (1512) DENOTES P.A. MILLER SURVEYING LTD., O.L.S.
 - (1532) DENOTES P.A. MILLER SURVEYING LTD., O.L.S.
 - (1542) DENOTES WATSON LAND SURVEYORS LTD., O.L.S.
 - (SP) DENOTES SPECIFIED CONTROL POINT
 - MTM DENOTES MODIFIED TRANSVERSE MERCATOR
 - NAD DENOTES NORTH AMERICAN DATUM
 - MEAS DENOTES MEASURED
 - MEAS DENOTES IDENTIFIER NUMBER
 - BF DENOTES BOARD FENCE
 - RWC DENOTES CONCRETE RETAINING WALL
 - (1728) DENOTES MAJOR CONTOUR
 - (1725) DENOTES MINOR CONTOUR

NOTES

DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.99995467. BEARINGS SHOWN HEREON ARE GRID BEARINGS AND ARE DERIVED FROM SPECIFIED CONTROL POINTS 0819860328 (N489547.037, E233019.771) AND 0819750216 (N489467.363, E231931.761) AS SHOWN ON THIS PLAN AND ARE BASED ON M.T.M. ZONE 9, CENTRAL MERIDIAN 75° 30' WEST LONGITUDE, NAD 83 (ORIGINAL).

FOR BEARING COMPARISONS:
--A ROTATION OF 00° 35' 25" CLOCKWISE WAS APPLIED TO THE BEARINGS ON PL AND PL1.

BENCHMARK NOTE

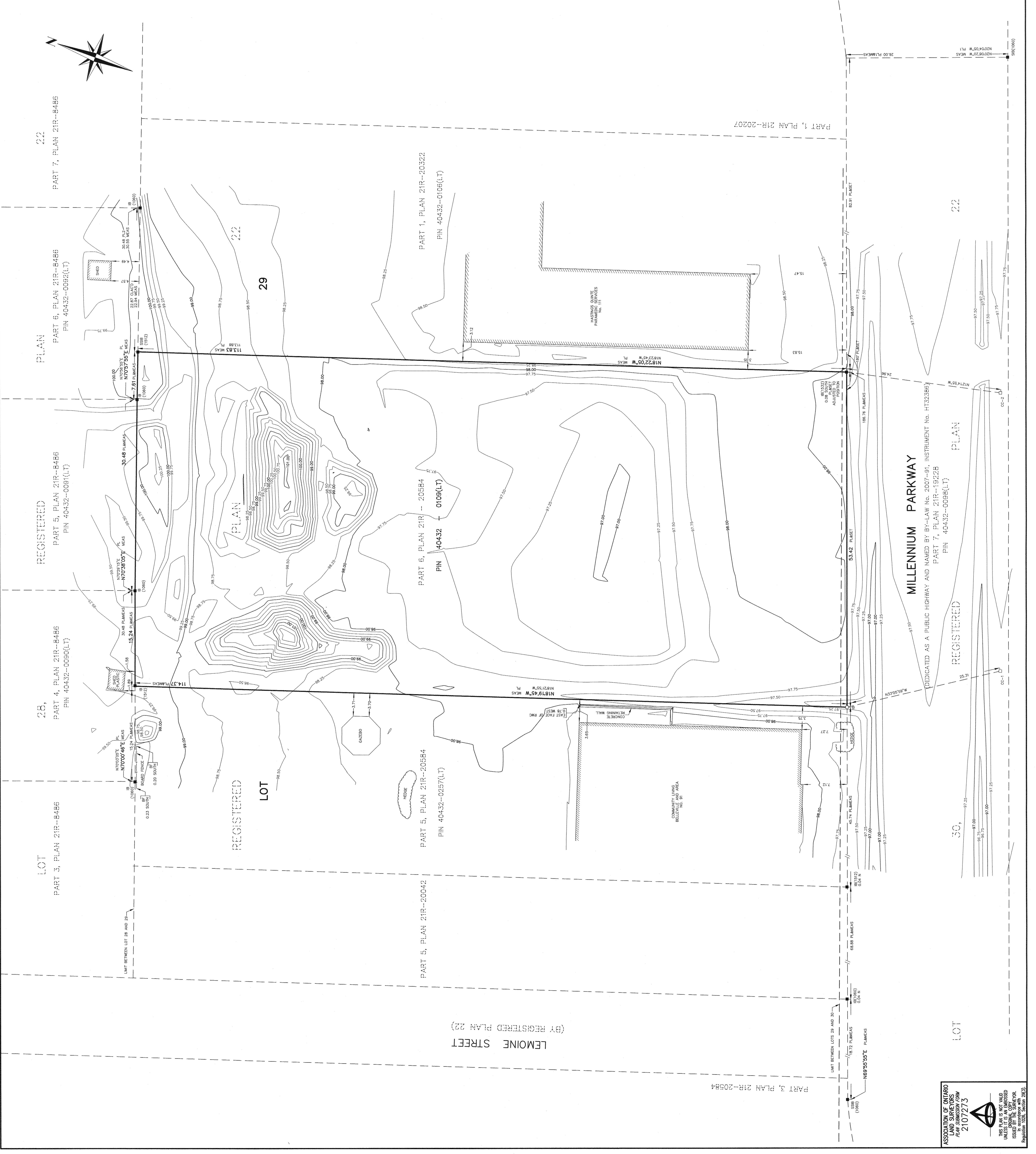
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO THE CITY OF TORONTO BENCHMARK No. 0819898047 (CGO0-1928:1978), CITY OF TORONTO, HAVING AN ELEVATION 98.011m. BENCHMARK SET ON CONCRETE BRIDGE CARRYING SIDNEY STREET OVER HIGHWAY 401. TABLE SET HORIZONTALLY IN NORTH EAST FACE OF MIDDLE CONCRETE PILLAR AT SOUTH END OF THE BRIDGE, 81 CM ABOVE GROUND LEVEL AND 18.3 M SOUTH OF CENTERLINE OF HIGHWAY 401.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 23rd DAY OF DECEMBER, 2019.

DATE: 2020
R. SHARMA
R. SHARMA
ONARIO LAND SURVEYOR

THAM SURVEYING LIMITED
ONARIO LAND SURVEYORS
8888 KEELE STREET, UNIT 7 PHONE: 905-761-6521 FAX: 905-761-6523
VAUGHAN, ONTARIO, L4K 2N2
E-MAIL: info@thamsurveying.com
RESERVED BY: 19-082-POS&P 19-083



**ASSOCIATION OF ONTARIO
LAND SURVEYORS
210723**

THIS PLAN IS NOT VALID UNLESS IT IS REGISTERED IN ACCORDANCE WITH THE SURVEY ACT AND THE REGULATIONS MADE UNDER THEM.

PP-2020-18

Attachment #9
Planning Justification Report

June 1, 2020



PLANNING JUSTIFICATION REPORT

Prepared by

Katie Pandey, MAES, MCIP, RPP



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| 2.0 | SITE AREA AND CONTEXT | 3 |
| 3.0 | DEVELOPMENT PROPOSAL | 6 |
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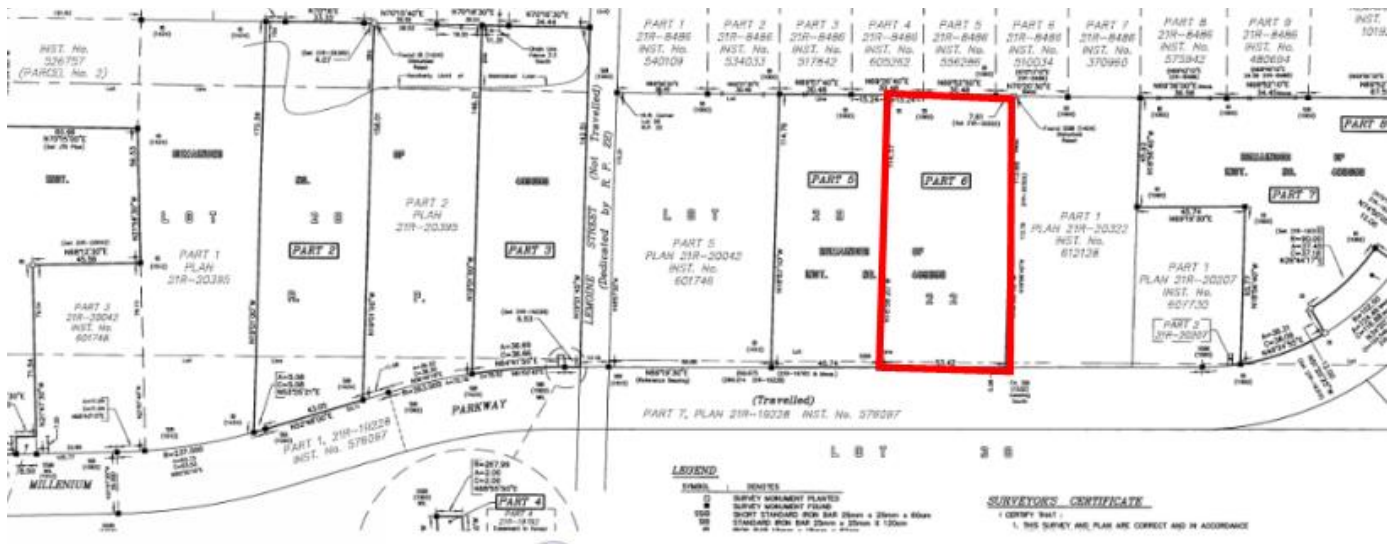
1.0 INTRODUCTION

KP Consultants has been retained by n Architecture Inc (the “agent”), with respect to the development of their lands legally described as Part 6 of 29 and 30, in the City of Belleville (the “subject lands”) (refer to Figure 1). There is no municipal address assigned to the subject site. The owner has submitted application for a Zoning By-law Amendment to facilitate the development of the lands for the hotel. An application for Site Plan Approval is required and wis submitted to the city along with rezoning application. This report is intended to provide a planning analysis and justification in support of the proposed development and the application submitted.

2.0 SITE AND SURROUNDING AREA

The subject site is located at north of highway 401 on Millennium Parkway between Cloverleaf Dr. and Sidney St. A legal and topographic survey has been prepared by Tham Surveying Limited, dated 7th Jan 2020 which identifies the site as part of Registered Plan of topography of the part 6 of Lot 29 & 30 registered plan 22 geographic Township of ThruLOW, City of Belleville and County of Hastings (**See Figure 1 below**).

Figure 1 Survey Plan



The subject property is surrounded by (**See Figures 2 and 3 below**):

South : Millenium Parkway and Vacant land;

North: low rise residential on the north;

West : community living on adjacent properties on the west; and



East: medical services on the adjacent properties on the east.

Figure 2 Aerial Picture



Figure 3 Surrounding Areas-East and West



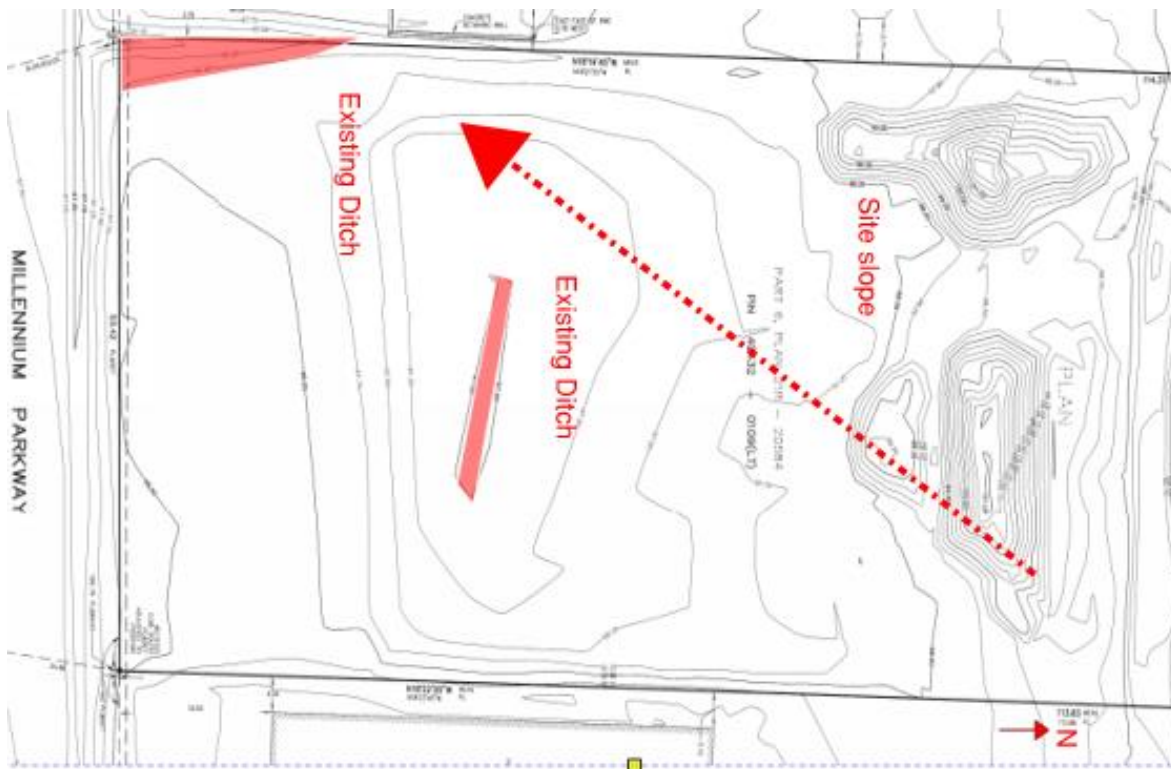
The total site has approximately 0.61 ha area, with land covered with grass. The subject lands are currently undeveloped and do not contain any existing buildings or structures. The topographical survey indicates that the site is sloped from north-east towards south-west. Highest elevation at north-west of the property is 101.5 and goes down to 97.0 at the centre of the site at a slope of 8.65% approximately (**See Figures 4 below**).

Figure 4 Site Picture



Topographical Survey conducted by Tham Surveying Limited indicates that there is a confined watershed within the boundary. Surface runoff flow direction is along the slope towards the existing ditch on south and west part of the site. There is a main ditch at the south of the property along the Millennium Parkway which collects the water comes from the sites and swales between properties. (**See Figures 5 below**).

Figure 5 Drainage Pattern



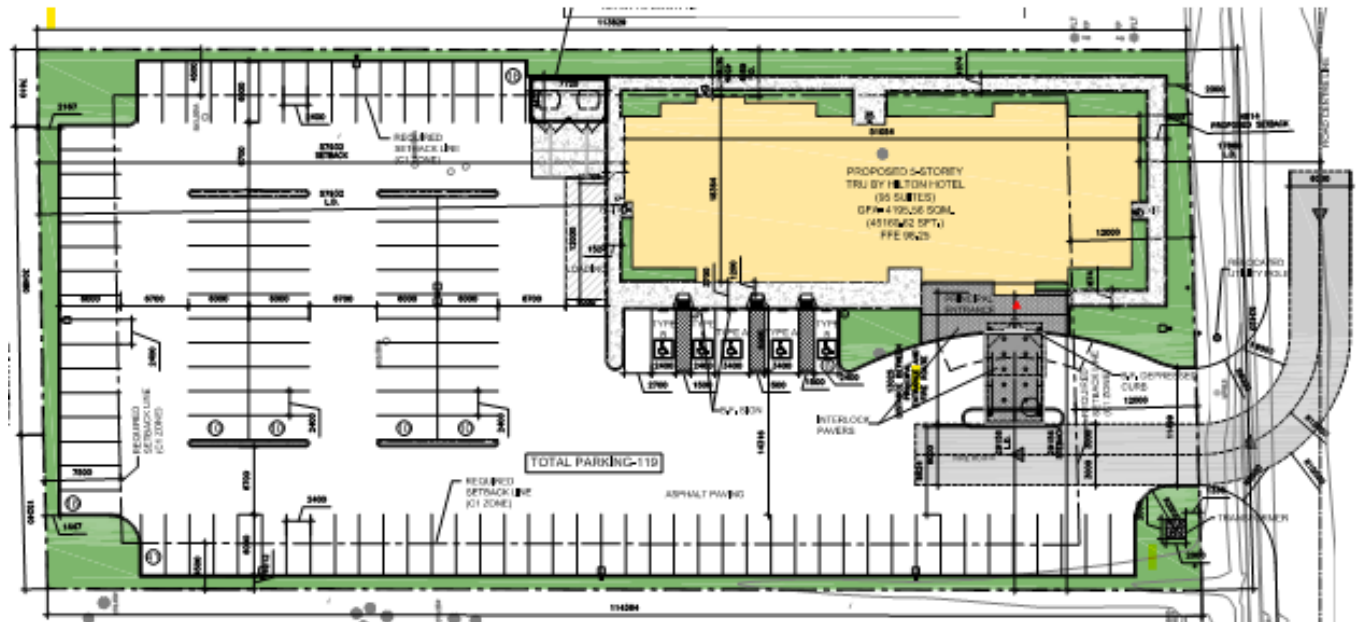
3.0 DEVELOPMENT PROPOSAL

Layout and Design: As stated above, application for a Zoning By-law Amendment has been submitted to the City of Belleville. The application has been submitted to facilitate the development of the lands for a 5 storey hotel with a gross floor area of 4195.56 sqm along with new 119 parking spaces and loading area. Access to the property is proposed from the Millennium Parkway and there is an existing stubbed driveway entrance off the Millennium Parkway.

The hotel building is situated on the southeast corner of the site with a total coverage of 13 % and set close to the proposed internal road. The hotel is oriented towards Millennium parkway thus overlooking Highway 401 which is parallel to the Millenium Parkway. There is more than required setback of 57.74 m provided on the north and west of 29.91 m to provide enough buffering for residential uses on the north and community living on the west. To bring the building closer to the stree, the front yard setback is reduced from required 12.0 m to 5.05 m. An exception to the zoning by law is required for increase in maximum permitted height from 11.0m to to 17.5 m , reduction in

front yard setback from 12.0m to 5.5 m and reduction in parking stall width from 3.0 m to 2.4 m (See Figures 6 and 7 below). Excess of two parking spaces are provided.

Figure 6 Site Plan and Statistics



| PROJECT STATISTICS | | |
|---|----------|-----------------------------|
| ADDRESS:- MILLENNIUM PARKWAY BELLEVILLE, ON | | |
| ZONING: EXISTING: SERVICE INDUSTRIAL (S1-2-H) PROPOSED: HIGHWAY COMMERCIAL (C1) | | |
| | REQUIRED | PROPOSED |
| LOT AREA (m ²) | | 6092.04 SQM. (1.50 ACRE) |
| LOT FRONTAGE | 30M | 53.42 M |
| PROP. HOTEL GFA | | 4195.56 SQM. |
| TOTAL COVERAGE | 50% MAX. | 839.11 SQM. (13.77%) |
| LANDSCAPE AREA | | 867.39 SQM.(14.23%) |
| LANDSCAPE STRIP | 3.0 M | 1.44 M |
| PAVED AREA | | 437.95 SQM.(7.18%) |
| BUILDING HEIGHT | 11M | 17.5M |

| SETBACK | REQUIRED | PROPOSED |
|--------------------|----------|----------|
| FRONT YARD (SOUTH) | 12M | 4.81 M |
| REAR YARD (NORTH) | 7.5M | 57.93 M |
| SIDE YARD (EAST) | 4.5M | 4.58 M |
| SIDE YARD (WEST) | 4.5M | 29.15 M |

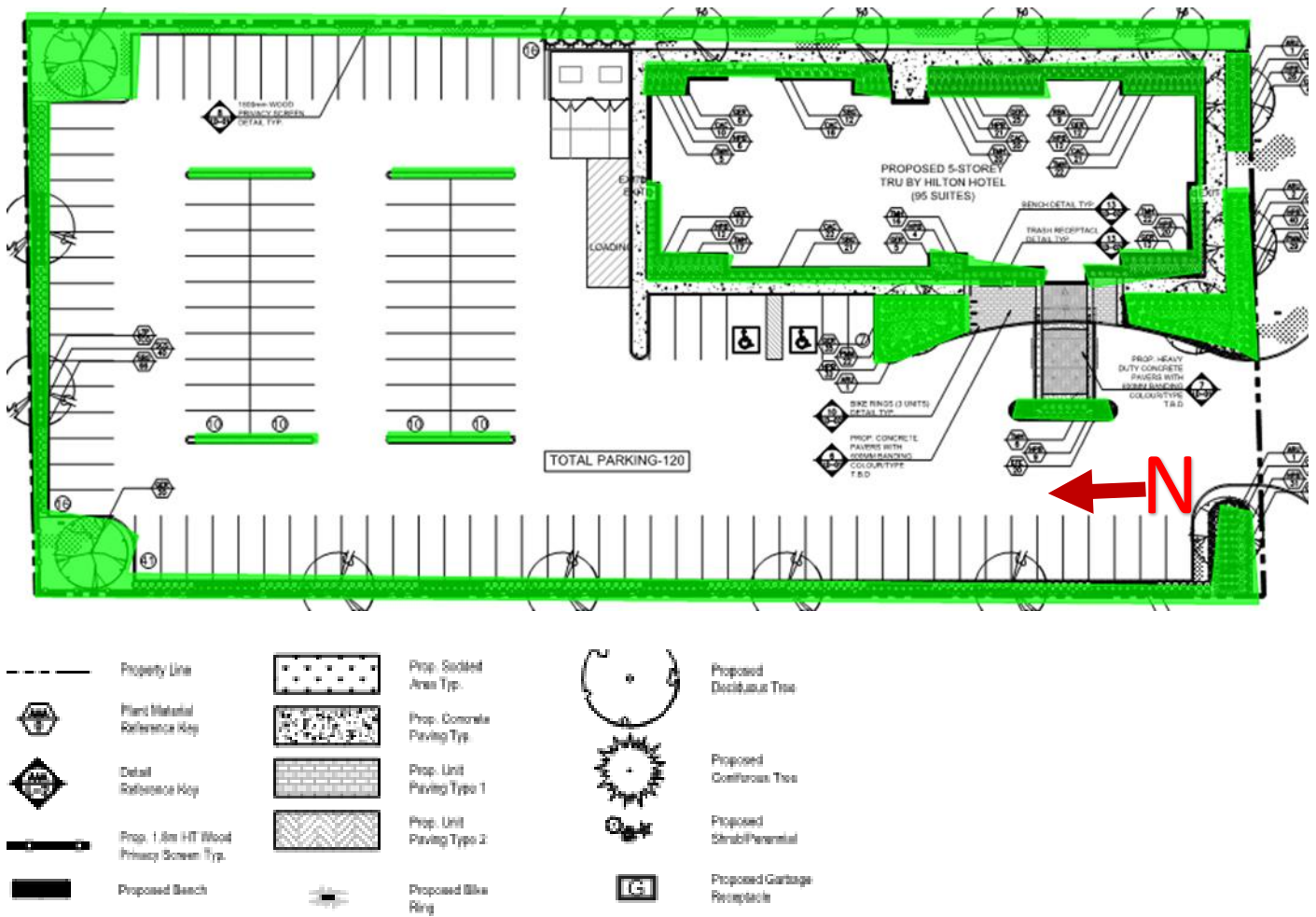
| PARKING REQUIREMENTS: | | |
|------------------------------------|-----------|---------------|
| | REQUIRED | PROPOSED |
| HOTEL (1 SPACE PER 36 SQM. GFA) | 117 | 119(INC. 5BF) |
| PARKING SZE | 3.0MX6.0M | 2.4MX6.0M |

Figure 6 : Three Dimensional Rendering



Landscape: To provide an enhanced streetscape and defined street edge, landscaping strip ranging from 1.2 m to 3.0m is provided on all sides. To reduce impact on adjacent residential properties on the north and community living on the adjacent west properties ,buffer of deciduous trees along with perennial shrubs and ornamental grasses are proposed on the north and west boundaries.

Figure 7 : Landscape Plan

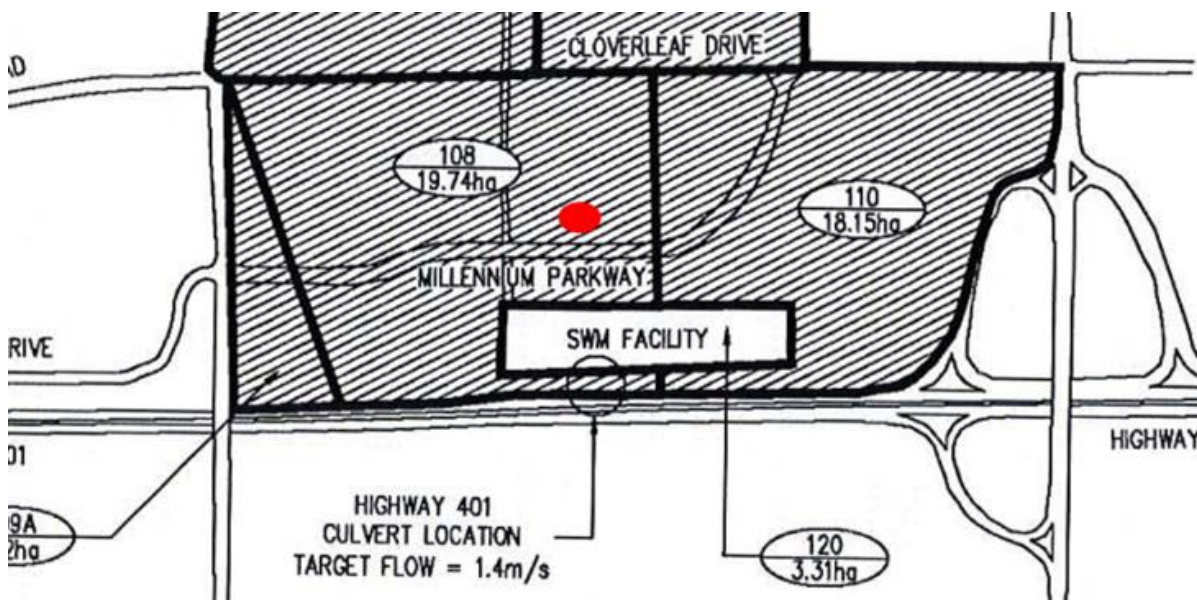


Grading: New buildings ground floor level is proposed at 98.25 m. Existing grades around the site are proposed to be matched at the boundary limits. Proposed site servicing, grading and storm drainage plans are submitted separately.

Proposed Storm Water Management : Site elevations is proposed to raised at the south side to ensure confinement of stormwater inside and protect the road from stormwater flow of the site. To tie into the existing grading at the north and north-east side of boundary, low height retaining wall is proposed. During Site construction, various temporary measures is proposed to be implemented to prevent the discharge of sediment laden Stormwater from the Site. These measures include silt fencing, catch basin buffers and mud-mats.

A stormwater network designed to discharge on existing ditch along south side of the property limit which would ultimately flow west towards the culvert discharging to existing Millenium Parkway Wetland Facility stormwater pond.

Figure 8 : Storm water Catchment Area



Proposed Service Connections: A 150 mm diameter sanitary sewer service connection is proposed to serve the proposed development by connecting to 200 mm diameter municipal sewer on Millennium Parkway right of way.

The reason for Zoning By-law Ammendment Application: The proposed Zoning By-law Amendment is required to rezone the lands from “Service Industrial (SI-2-h) “ Zone to Highway Commercial (C1) zone as the current zoning does not permit a hotel use under the provisions of By-law No. the Thurlow Zoning By-law (3014), as amended with site-specific development standards are required to facilitate the construction of the proposed Hotel.

4.0 POLICY ANALYSIS



4.1 Provincial Policy Statement 2014

The Provincial Policy Statement (PPS), 2014 came into effect on April 30, 2014 and provides policy direction on matters of provincial interest related to land use planning and development. In accordance with Section 3(5) of the PPS, all land use decisions are required to be consistent with the PPS. The vision of the PPS is to build strong communities while ensuring development patterns are efficient and optimize the use of land, resources, and public investment in infrastructure.

A central policy direction of the PPS is the creation of strong, healthy communities and facilitation of long-term economic growth through efficient development and land use patterns. *Section 1.1.1* promotes the following policies for sustaining health, liveable and safe communities:

- Promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term (1.1.1(a));
- Accommodating an appropriate range and mix of residential..., employment (including industrial and commercial); institutional..., recreation, park and open space, and other uses to meet long-term needs (1.1.1(b));
- Avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent or close to settlement areas (1.1.1(c)); and
- Promoting cost-effective development patterns and standards to minimize land consumption and servicing costs (1.1.1(e)).

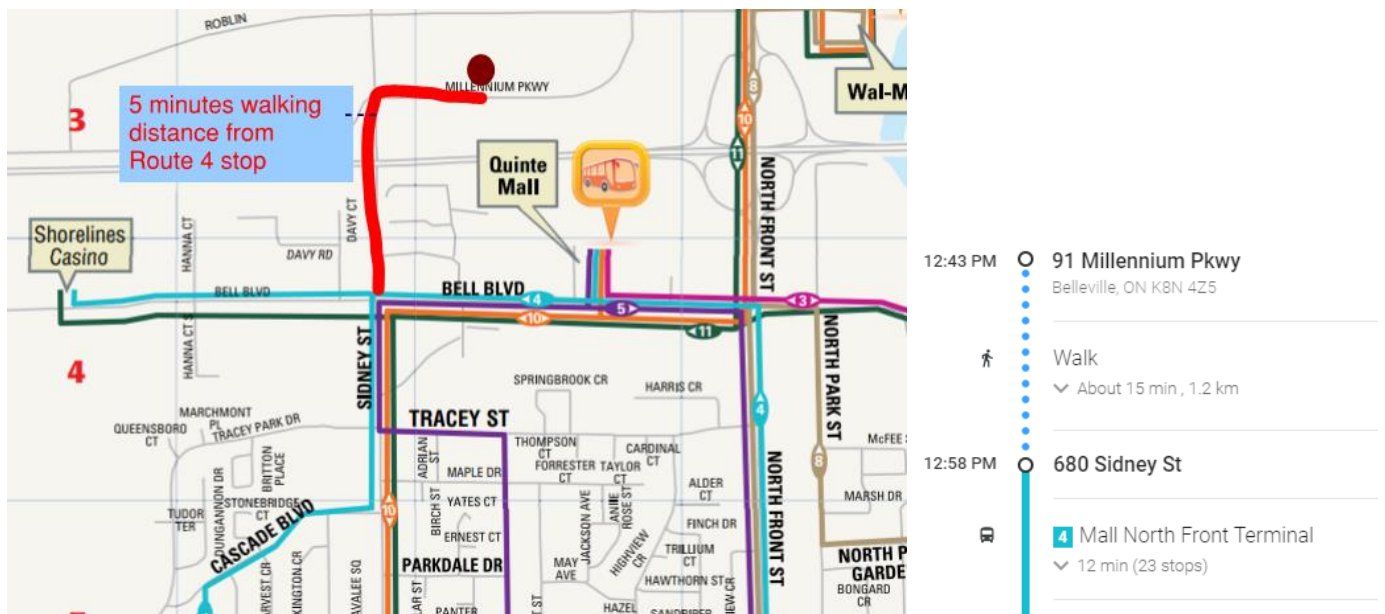
The subject lands are located within the City of Belleville Settlement Area. Section 1.1.3 states that the vitality of settlement areas is critical to the long-term economic prosperity of our communities.

Policy 1.1.3.1 states that Settlement areas shall be the focus of growth and development, and their vitality and regeneration shall be promoted. Policy 1.1.3.2 provides that land use patterns within settlement areas shall be based on densities and a mix of land uses which:

- Efficiently use land and resources;
- Are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;
- Support active transportation; and
- Are transit-supportive, where transit is planned, exists, or may be developed.

The subject site is 5 minutes walking distance from Route 4 which connects to Quinte mall (See Figure 9).

Figure 9 Transit Route



Policy 1.3.1(b) states that planning authorities shall promote economic development and competitiveness by providing opportunity for a diverse economic base, and maintaining a range of sites that are suitable for employment uses. Policy 1.3.1(c) further encourages compact, mixed-use development that incorporates compatible employment uses to support liveable and resilient communities.

Policy 1.2.6.1 states that major facilities and sensitive land use should be planned to ensure they are appropriately designed, buffered and/or separated from each other to prevent or mitigate adverse effects from odour, noise and other contaminants, minimize risk to public health and safety, and to ensure the long-term viability of major facilities.

The proposed development is consistent with the Provincial Policy Statement as the proposed development is located within a settlement area and has access to municipal sewage and water services. Furthermore, the proposed development adds compatible hospitality use to the existing commercial area of Bell Boulevard. The proposed development provides employment and adds to the mix of services available in the Bell Boulevard area.

4.2.1 City of Belleville Official Plan (2018)



CITY OF BELLEVILLE OFFICIAL PLAN

City of Belleville Development Services Department

The subject land is designated commercial in the City of Belleville Official Plan (See **Figure 10**).

Figure 10, Excerpt from Schedule B, Urban of the Official Plan.



The purpose of the Commercial land use designation as illustrated on the land use schedules is to recognize and encourage the concentration of commercial uses into nodes or areas of commercial activity defined by size, function and/or intended market. While there are a number of areas designated Commercial land use throughout the City, there are four distinct areas of major commercial activity located generally within the urban serviced area outside of the City Centre where specific policies are required, as follows:

- Bell Boulevard Area
- Bayview Mall/Dundas Street East Corridor
- Dundas Street West Corridor
- North Front/Highway 62 Corridor

The proposed development is in the Bell Boulevard Area. **Hotel use is permitted in the Bell Boulevard area (Section 3.9.2.b).**

The Bell Boulevard area's role as a major focus of employment and retail activity within the region would be enhanced through development of retail, highway commercial and recreational commercial uses. As a gateway to the community, the image of the Bell Boulevard area should be enhanced through policies emphasizing a high level of urban design, co-ordination of separate developments to function cooperatively, landscaping and efficient traffic circulation(Section 3.9.2.a).

The proposed 5 storey hotel building with high level of urban design, coordinated landscaping and functional vehicular circulation would create landmark for the commercial area of Bell Boulevard.

Other Policies Applicable to the Designated Commercial Land Use is analysed below:

Policy: Section 3.9.1.a: *Commercial development is dependent upon vehicular access. Points of ingress and egress should be established to ensure safe movement of:*

- *vehicular traffic on the public street;*
- *vehicular traffic on the subject and adjoining lands; and*
- *pedestrian and cyclist traffic along the street.*

Further, commercial development should have sufficient parking on-site to meet the needs of customers and staff.

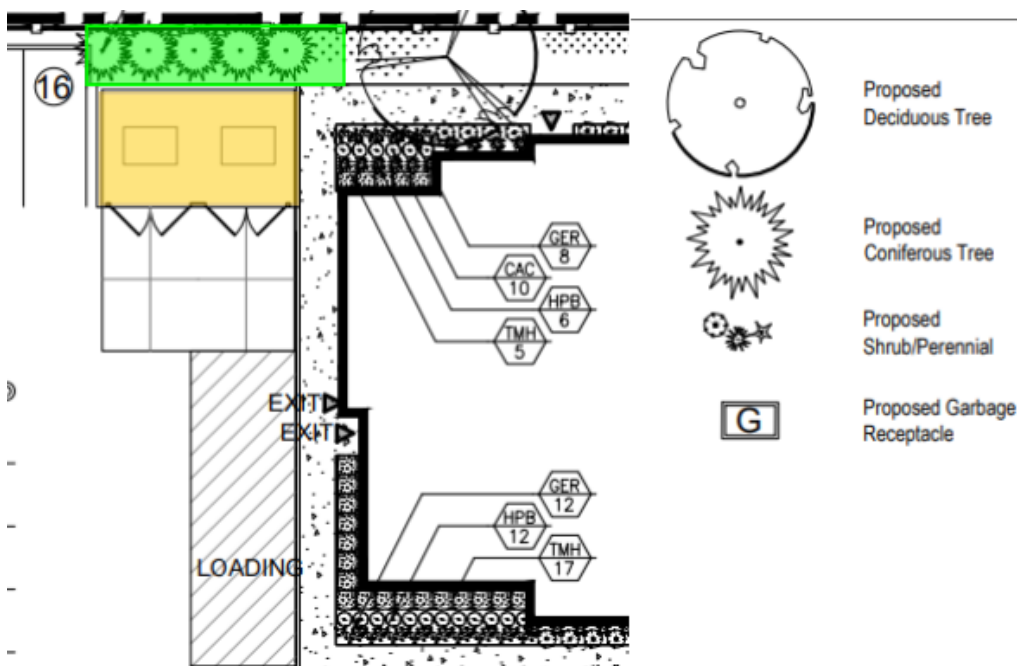
Analysis: Safe movement is provided to the subject property and excess parking is provided on the subject property.

The following design policies applies to all commercial development:

Policy :3.9.1.b (i) :*Outdoor storage areas for garbage should be fenced or screened from adjacent uses and preferably located away from the public street.*

Analysis :The garbage enclosure is proposed to be located on the eastern boundary and to be screened with coniferous shrubs (See Figure 11).

Figure 11, Excerpt from Landscape Plan showing location of garbage enclosure.



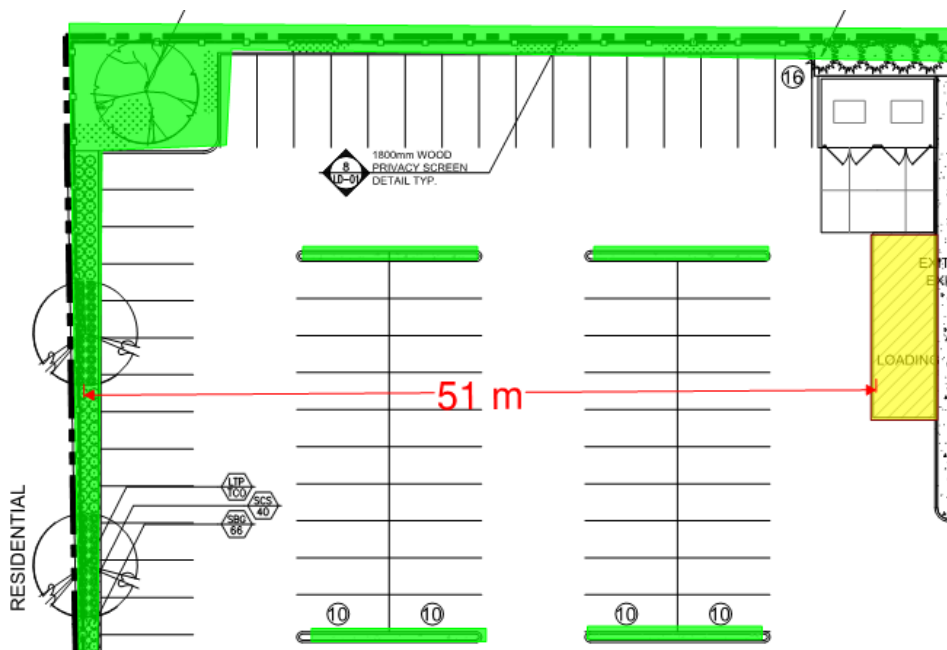
Policy : 3.9.1.b (ii) :*The appearance of parking lots, loading facilities and service areas should be enhanced through appropriate landscaping, with appropriate lighting of such areas to ensure public safety, which should be oriented away from nearby residential properties and not interfere with visibility on public streets.*

Analysis : The proposed parking lot for the subject property is buffered by landscaping strip and parking islands covered with sod are also proposed (**See Figure 7**).

Policy : 3.9.1.b (iii) : *Loading facilities, parking lots and service areas should be located so as to minimize the effects of noise and fumes on any adjacent residential properties, and where possible, such facilities should be located in a yard that does not immediately abut a residential property, and where they do, measures to mitigate the impact of such a location by fencing or plantings, berming and buffer strips, or increased setbacks should be employed as required.*

Analysis : Loading facility is located at a distance of 51 m from the adjacent residential properties on the north (**See Figure 12 below**).

Figure 12, Excerpt from the Landscape Plan showing loading area



Policy : 3.9.1.b.iv: *Facilities for safe pedestrian access and circulation on-site should be provided.*

Analysis : Safe pedestrian access is provided through sidewalk connection to public street (Millennium Parkway) with efficient circulation for vehicles provided on the subject property.

Policy : 3.9.6 (c) *In general, uses to be permitted within areas designated Commercial land use would include business and professional offices, retail establishments, places of entertainment, assembly halls, restaurants, hotels and motels, personal service City of Belleville Official Plan 39 uses, automotive uses, community facilities and recreational uses. In some instances, particularly in the vicinity of residential areas, residential uses either as main uses or in concert with commercial development may be appropriate.*

However, not every property designated Commercial land use is suitable for all forms of commercial activity; the range of uses permitted within each area designated Commercial land use should be established taking into account:

•the nature and extent of the market area that is to be served by the property and the commercial development;

Analysis : Belleville is located along the scenic shores of the Bay of Quinte which is part of Lake Ontario. Located only 175 km east of Toronto along the 401, with its location on the Bay of Quinte, Belleville offers many advantages. Fishing, boating, swimming and other water activities. Just south is one of the most famous beaches in the world called "The Sandbanks" which features camping, natural sand beaches, natural levels, swimming and all those summer activities.

Belleville appeals to all age groups, not only the people approaching retirement but the young and active. Belleville offers a small town atmosphere but with big city amenities. There is definitely demand for Hotel in the proposed location close to Highway 401 and 62 Corridor.

Policy : the nature of abutting land uses and the potential impact of commercial development upon such uses, and the effectiveness of mitigative measures.

Analysis : There would not be any negative impact on abutting residential use as more than sufficient setback of 57.74 m is proposed (**See Figure 13 below**).

Figure 13, Perspective from North



Residential use on North

Site Plan application will be accompanied with the rezoning application to remove hold. We recommend rezoning the property to Highway Commercial (C1) zone with exceptions for:

1. Reduction in a Minimum required front yard setback from 12.0m to 5.05 m (*Section 6.11.1.5.7.1*);
2. Increase in Maximum Pemitted height from 11.0 m to 17.7 m (*Section 6.11.1.5.5*);
3. Reduction in Landscaping strip for north of the subject property from 3.0 m to 1.2(*Section 4.16.3*) and
4. Reduction in parking space width from 3.0 m to 2.4 m (*Section 4.15.12.1*).

Zoning Justification:

1. Reduction in a Minimum required front yard setback from 12.0m to 5.05 m (Section 6.11.1.5.7.1).

We are requesting exception to the Section 6.11.1.7.1 and offer following justification:

The intent of above noted zoning standard is to reduce negative impact of service commercial use on the street. The above reduction in front yard setback is good planning as it would bring the building closer to the street which is a good urban design principle (**See Figure 15 below**).The proposed hotel would add vibrancy to the street and would act as landmark for the Bell Boulevard Area.

Figure 15, Pesrpective from the Millenium Parkway



2. Increase in Maximum Pemitted height from 11.0 m to 17.7 m (Section 6.11.1.5.5).

We are requesting exception to the Section 6.11.1.5.5 and offer following justification:

45-Degree Angular Plane: To ensure compatibility and appropriate transition of the proposed development with established neighbourhoods and reduce shadow impacts, we reviewed the proposal against compliance with the 45-degree “angular plane” theory, which is universally accepted urban design theory used by various municipalities in the Greater Toronto Area. Compliance with a 45-degree angular plane means that a building cannot project above a 45-degree angular plane, starting at the property line.

We applied this 45 degree angular theory to study impact on adjacent sensitive uses on west (community living) and low rise residential on the south and there was no encroachment within 45 degree triangle justifying increase in maximum permitted height to 17.7 m (See Figure 16 and 17).

Figure 16, 45 Degree Angular theory for the adjacent West building.

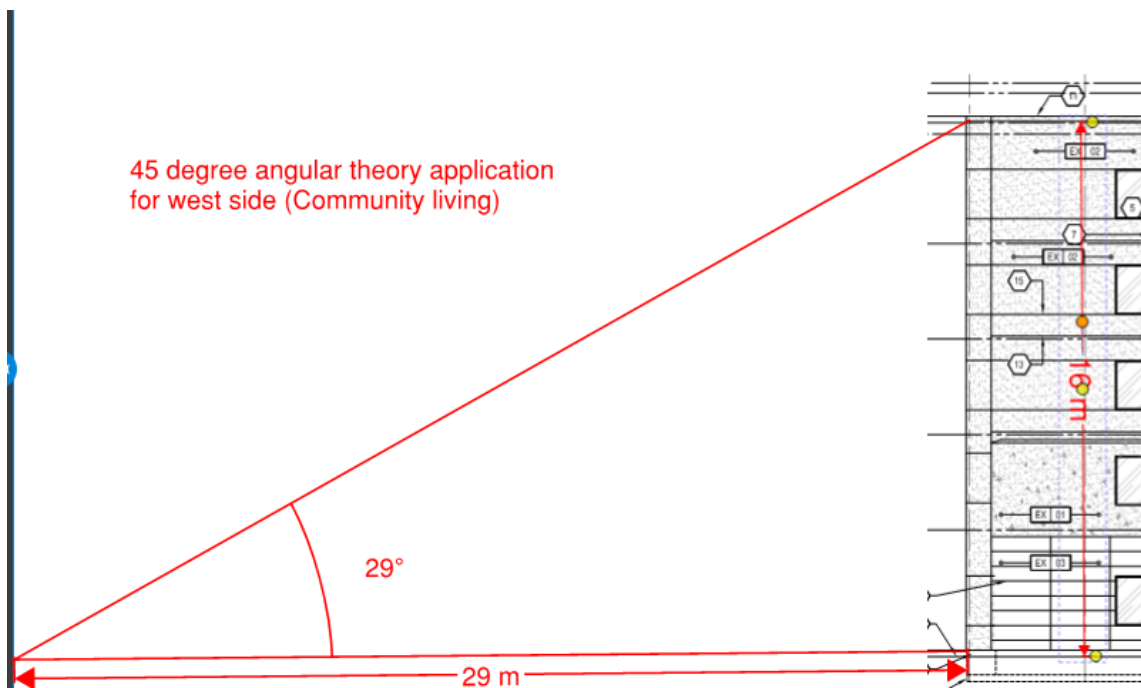
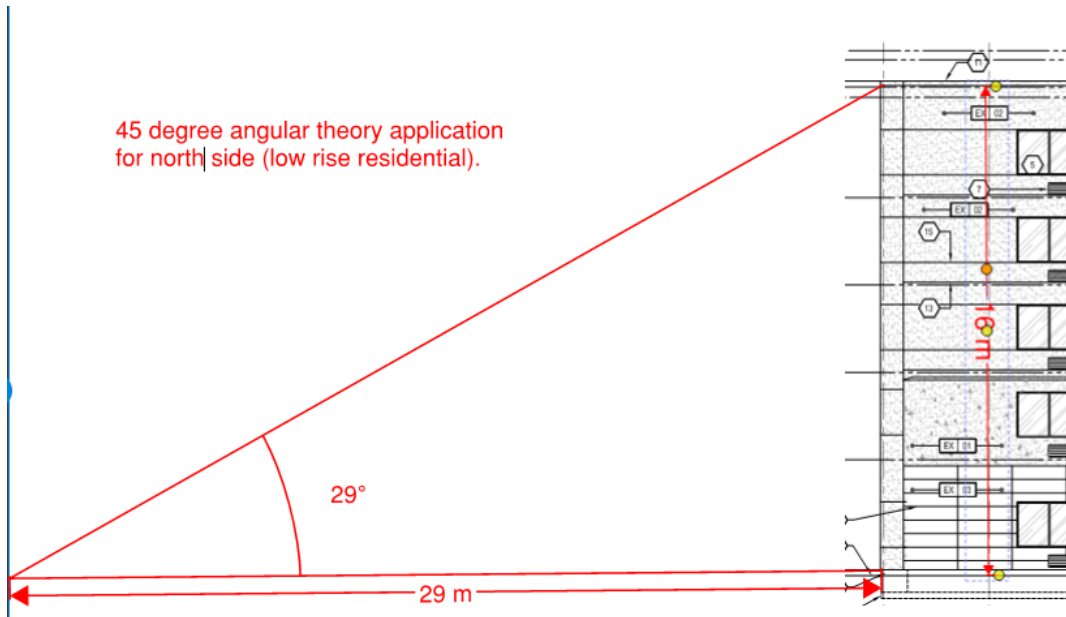


Figure 17, 45 Degree Angular theory for the adjacent South building.



3. Reduction in Landscaping strip for north of the subject property from 3.0 m to 1.2 (Section 4.16.3)

We are requesting exception to the Section 6.4.16.3 and offer following justification:

The intent of the above standard is to provide sufficient buffer for the residential property from commercial use. As demonstrated above that we have more than sufficient setback provided from the proposed hotel building to the adjacent residential property on the north. Consequently, reduction in landscaping strip from 3.0 m to 1.2 m would have minimal impact.

4. Reduction in parking space width from 3.0 m to 2.4 m (Section 4.15.12.1).

We are requesting exception to the Section 4.15.12.1 and offer following justification:

Maximum car width of latest model is around 2.0 m. The proposed parking space width would provide sufficient space for door swing.

The proposed C1 zoning with exceptions is compatible to the surrounding use and would not have any negative impact on the area.

6.0 Site Plan Approval

The Site Plan application is required to remove hold provision . A site plan control application has been submitted alongwith rezoninh application.

7.0 Public Consultation Strategy

The Public Engagement Strategy of the City of Belleville is in accordance with the requirements stipulated by the Planning Act. The above-noted applications will have a public engagement strategy in accordance with the City 's public engagement process outlined above.

The City of Belleville undertakes the following public engagement process for all development application:

- Placing an advertisement in the local newspapers to meet the minimum notice requirements of the Planning Act.
- The City uses social media, including Facebook and Twitter, and the City's website for general public notification and consultation for a number of Planning applications.
- The City follows the mandatory requirement of the Planning Act, including mailing out a notice to surrounding property owners.
- The City requires the applicant to post public notice signs on the subject site.

8.0 Conclusion

The proposed development represents good planning and should be approved for the following reasons:

1. Is consistent with the Provincial Policy Statement;
2. conforms to the local Official plan;
3. will not have any negative impact on the surrouding area;
4. the proposed use is an appropriate use of underutilized vacant land;
5. the proposed use is compatible to the surrounding area; and
6. the subject property is located close to the transit route.



Submitted by:

Katie Pandey, MAES, MCIP RPP

Appendix 1: Draft Zoning By-law

January xx, 2020 Version

THE CORPORATION OF THE CITY OF BELLEVILLE

BY-LAW NUMBER 2020-XX

Being a by-law to amend Zoning By-law 3014 to rezone those lands in *described as Part 6 of Lots 25, 26, 27, 28 and 29, City of Belleville*

Whereas By-law 3014 is the main comprehensive Zoning By-law of the City of Belleville;

And whereas By-law 3014 zoned as Service Industrial (SI-2-h) Zone

And whereas authority is granted under Section 34 and 36 of Planning Act, R.S.O. 1990, c.P.13;

Now therefore the Council of The Corporation of the City of Belleville enacts as follows:

1. The lands located in Part 6 of Lots 289 and 30, Registered Plan 22, City of Belleville of the Township of Thurlow Comprehensive Zoning By-law no. 3014 is changed to Highway Commercial (C1) zone.
2. All provisions of Highway Commercial (C1) zone shall apply to the lands located in *Part 6 of Lots 25, 26, 27, 28 and 29, City of Belleville* 2 of the Township of Thurlow Comprehensive Zoning By-law no. 3014 except following noted below: .
 - Section 6.11.1.5.5 Maximum height of buildings: 17.7 metres;
 - Section 6.11.1.5.7.1 Minimum Front yard depth 6.11.1.5.7.1.1 of the Principal building: 5.0 metres;
 - Section 4.15.12.1 The minimum width of parking space shall be 2.4 m; and
 - Section 4.16.3 The planting strip shall consist of a continuous unpierced hedgerow of trees, evergreens or shrubs, not less than 2 metres high and 1 metres wide.

SERVICING & STORMWATER MANAGEMENT REPORT
FOR
PROPOSED 5 STOREY TRU BY HILTON HOTEL AT
MILLENNIUM PARKWAY
CITY OF BELLEVILLE, ONTARIO

February 04, 2020

Prepared by:



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1.0 INTRODUCTION

n Engineering Inc. was retained by owner of the property Sunny Punia (Client) to undertake the servicing and stormwater management preliminary design for the proposed property development. The purpose of this report is to present the storm water management, sanitary sewage disposal, water distribution and appropriate measures to mitigate the impact of storm runoff with the proposed development.

2.0 STUDY AREA

The subject site is located at north of highway 401 on Millennium PKWY between Cloverleaf Dr. and Sidney St. the location of the site is provided in Figure 1.

A legal and topographic survey has been prepared by Tham Surveying Limited, dated 7th Jan 2020 which identifies the site as part of Registered Plan of topography of the part of Lot 29 & 30 registered plan 22 geographic Township of Thrulow, City of Belleville and County of Hastings.



Figure 1 - Site Location Plan

3.0 PROPOSED DEVELOPMENT

Site is proposed to develop for a 5 storey hotel along with new parking lot and loading area.

New buildings ground floor level is proposed at 98.25 m. Existing grades around the site are proposed to be matched at the boundary limits. Proposed site servicing, grading and storm drainage plans are submitted separately as full-size drawings with this report.

4.0 OBJECTIVES OF STORMWATER DRAINAGE AND SITE SERVICING

Potential stormwater management (SWM) strategies to mitigate any potential impacts per design guidelines are presented in the report by studying following:

- Identifying existing runoff pattern and quantity of runoff discharge from proposed development area;
- Evaluate the impact of development on existing road side ditches and culverts;
- Address the concerns from the reviewing agency including Ministry of Transportation, City of Belleville and Ministry of Environment, Conservations and Parks;
- New site servicing requirements for sanitary and water supply will also be discussed in the following sections.



Figure 2 - Site Existing Condition

5.0 EXISTING TOPOGRAPHY AND DRAINAGE PATTERN

The total site has approximately 0.61 ha area, with land covered with grass as shown in Figure 2. The topographical survey (Refer: Topographical Map, Appendix A) indicates that the site is sloped from north-east towards south-west. Highest elevation at north-west of the property is 101.5 and goes down to 97.0 at the centre of the site at a slope of 8.65% approximately.

Topographical Survey conducted by Tham Surveying Limited indicates that there is a confined watershed within the boundary. Surface runoff flow direction is along the slope towards the existing ditch on south and west part of the site. Existing drainage pattern presented in Figure DR 101 in Appendix A.

There is a main ditch at the south of the property along the Millennium Parkway which collects the water comes from the sites and swales between properties.

6.0 STORMWATER MANAGEMENT CRITERIA

Stormwater Management Criteria for proposed development site determined based on following guidelines and manuals:

- Ministry of Environment Stormwater Management Planning and Design Manual, MOE, 2003;

- The corporation of the city of Belleville site plan guidelines, January 31, 2005;
- Stormwater management report Upper No-Name Creek Millennium Parkway Wetland Facility by G.D Jewell Engineering INC on Oct 28,2016

The criteria for proposed development are summarized below:

- **Water Quantity Control** - The proposed site falls in sub-catchment of the Millennium Parkway storm water management wetland and the runoff coefficient for the sub catchment (No. 108) considered 0.70. (Refer: Page 23, Stormwater Management Report, Mac-5 SWMF Millennium Parkway, Oct 28, 2016). Flow for runoff coefficient will be considered as allowable flow and post –development flow above allowable flow will be controlled on site.
- **Water Quality Control** –Stormwater discharged from the post development site are required to meet a minimum 80% TSS removal or an enhanced (Level 1) removal as referenced in the MOE SWMPD Manual;
- **Roof Top Storage** –roof-top detention will be proposed;
- **Orifice Pipe** – As per MOE’s guideline, a short segment of storm sewer, equal to the diameter of the required orifice will be provided at the inlet of proposed Oil and Grit Separator; and also another orifice will be provided at CBMH1 to have ponding at DCB1
- **Impact of Storm water Storage Tank:** Detention Storage Tank cannot have adverse impact on the road;
- **Erosion and Sediment Control During Construction** - The erosion potential of the study area to assessed using methods described in the “MOE Stormwater Management Manual” of temporary erosion and sediment control measures suitable for construction sites close to highways.

7.0 STORMWATER MANAGEMNET STUDY

7.1 Runoff Coefficients

Runoff parameters used for site under existing and proposed conditions are shown in Table 2 below, can be found in the MOE Drainage Management Manual Design Chart 1.07.

Table 1 – Runoff Coefficients (MTO)

| Land Use | Runoff Coefficient |
|------------------------------------|--------------------|
| Open Space <7% Slope | 0.25 |
| Gravel Area<7% Slope | 0.60 |
| Impervious Area(Asphalt, Concrete) | 0.90 |

| | |
|-----------------------------|------|
| Impervious Area (Roof Area) | 0.90 |
|-----------------------------|------|

According to *Stormwater management report Upper No-Name Creek Millennium Parkway Wetland Facility by G.D Jewell Engineering INC on Oct 28,2016*, the site falls under sub-catchment 108 and 0.70 is considered to be used as the pre development runoff coefficient and presented in Appendix 2 (Calculation Sheet 1). Post development catchment area is shown in DR 102 in Appendix A. Calculations for pre-and post-development imperviousness are given in Appendix B and summarized below:

Table 2 – Composite Runoff Coefficients

| Drainage Area | Runoff coefficient 'C' (Pre-development) | Runoff coefficient 'C' (Post-development) |
|---------------|---|--|
| SITE | 0.70 ¹ | 0.80 |

7.2 Peak Flow Rates

Given the size and characteristics of the site and catchment areas, the Rational Formula was used to determine the peak flows from the subject site under pre-development and post-development conditions. The rainfall-runoff relationship is as follows:

$$Q = 0.00278CIA$$

Where:

Q = Peak Flow in m³/s;

A = Effective area of drainage basin in hectares (ha);

C = runoff coefficient; and

I = Rainfall intensity in mm/hr.

The runoff coefficient value (C) is determined based on the soil type, land use, and the antecedent moisture related to the condition of the catchment. The scenarios in which a catchment has more than one land use or soil type, a representative runoff coefficient is determined using areas of the different land cover as weighting factor.

Rainfall intensities were calculated using the rainfall intensity-duration-frequency (IDF) values for the location coordinate of proposed site. The IDF values were obtained from *Stormwater management report Upper No-Name Creek Millennium Parkway Wetland Facility by G.D Jewell Engineering INC on Oct 28, 2016* where it was extracted from the Environment Canada and are summarized in Table 3 below.

Table 3 – IDF Parameters

| IDF PARAMETERS | 2 Years | 5 Years | 10 Years | 25 Years | 50 Years | 100 Years |
|----------------|---------|---------|----------|----------|----------|-----------|
| A | 20.3 | 26.4 | 30.4 | 35.5 | 39.3 | 43.0 |
| B | -0.677 | -0.677 | -0.678 | -0.678 | -0.678 | -0.678 |

¹ *Stormwater management report Upper No-Name Creek Millennium Parkway Wetland Facility by G.D Jewell Engineering INC on Oct 28,2016*

7.3 Allowable Peak Flow

Pre-development peak flows are calculated based on existing land use and presented in Calculation Sheet 1, Appendix B. The results are summarized in Table 5.

Table 5 – Pre-development Peak Flow

| 2 Years | 5 Years | 10 Years | 25 Years | 50 Years | 100 Years |
|---------|---------|----------|----------|----------|-----------|
| 61.52 | 80.00 | 92.25 | 107.73 | 119.26 | 130.49 |

(Unit of measurement L/sec)

7.4 Proposed Drainage Pattern and Peak Runoff Flow Rate

The proposed site enclosed a mix of paved and grassy areas as well as buildings. Proposed site grades were selected to ensure vehicular access was unimpeded as well as to provide a surface storage for rainfall events. Site elevations were raised at the south side to ensure confinement of stormwater inside and protect the road from stormwater flow of the site. To tie into the existing grading at the north and north-east side of boundary, low height retaining wall will be required.

For the proposed development condition, the site is divided in four sub-catchments as shown in Figure DR 102 (Appendix A). Runoff from these sub-catchments will flow through proposed inlets as presented in Site Servicing Plan (Drawing C2).

Post-development peak flow are calculated and presented Calculation Sheet 2, Appendix B. The results are summarized in Table 6.

Table 5 – Post-development Peak Flow

| 2 Years | 5 Years | 10 Years | 25 Years | 50 Years | 100 Years |
|---------|---------|----------|----------|----------|-----------|
| 70.81 | 92.08 | 106.18 | 124.00 | 137.27 | 150.19 |

(Unit of measurement L/sec)

7.6 Comparison of Existing and Proposed Runoff Rates

Flow rates under different storm events were calculated for both existing and proposed conditions using the Rational Method. Catchment areas and hydrologic parameters were determined using the available land use information and topographic maps (*as shown in Figures DR 101 and DR 102 in Appendix A*).

The primary goal of the drainage and hydrologic analysis is to examine the effect of the development on local storm drainage. This analysis was used to create goals for the stormwater management design. Table 7 presents the peak flow rates comparison for both existing and proposed conditions calculated for the entire site under, while the detailed flow calculations and are presented in Appendix B. It should be noted that the post-development flows in Tables 6 and 7 are to address the impact of the development only, and do not represent the final stormwater management design flows.

Table 6 – Comparison between Existing and Post-development Flow

| CODITIONS/FLOW (L/SEC) | 2 Years | 5 Years | 10 Years | 25 Years | 50 Years | 100 Years |
|------------------------|---------|---------|----------|----------|----------|-----------|
| PRE-DEVELOPMENT | 61.52 | 80.00 | 92.25 | 107.73 | 119.26 | 130.49 |
| POST-DEVELOPMENT | 70.81 | 92.08 | 106.18 | 124.00 | 137.27 | 150.19 |
| INCREASE(DESCREASE) | 9.29 | 12.08 | 13.93 | 16.27 | 18.01 | 19.71 |

7.7 Quantity Control Measure

7.7.1 Orifice Control

The runoff from the site proposed to control with the help of a 185mm diameter orifice plate installed at inlet of Storm Manhole No. 1 (MH1). Orifice Sizing Calculations presented as Table 1 in Appendix D.

There is another 50 mm diameter orifice (orifice plate #1) used at inlet of CBMH1 to have 100 yrs ponding at DCB1.

7.7.2 Roof Control

Flow will be detained on the roof by installing parabolic weirs, (Zurn Z105 Control Flo Roof Drain), at the 2 numbers of proposed roof drains limiting the flow from the roof to 1.4 l/s through each drain. The allowable flow of 2.8 l/sec will create detention storage of 22.67 m³/sec for 100 yr. storm.

Considering dead level drain based on the roof area of 839.11 m² the maximum ponding depth on the roof is calculated as follows:

$$\text{Ponding depth} = 22.67 \text{ m}^3 / (839.11 \text{ m}^2) \times 1000 = 27\text{mm.}$$

Drain specs are attached in Appendix G.

7.7.3 Storage for Quantity Control

Required detention storage calculated based on controlled flow and presented in Appendix D (Table 3.1 – 3.6). Allowable discharge rate, controlled flow rate and required detention storage summarized in Table 8.

For the 100 year design storm event, the proposed controlled flow requires storage of 77.43m³ totally. 2.65 m³ of in-pipe, 14.48 m³ in as roof storage, 59.9 m³ as surface ponding and 7.81m³ storage of catchbasins, manholes are available. Total storage available all together is 84.83 m³. The location, shape and proposed grading of the temporary surface storage are shown in Drawing C2 (Figure 1). This temporary surface storage has been sized with varying slope including a 2.3% slope for a smaller length. The 100 year ponding high water level will be kept at an elevation of 98.45 at DCB1 and 97.95 at CBMH1 m having a maximum depth of storage of 0.15 m.

Table 7 – Controlled Flow and Detention Storage

| | 2 Years | 5 Years | 10 Years | 25 Years | 50 Years | 100 Years |
|---------------------------------|---------|---------|----------|----------|----------|-----------|
| ALLOWABLE FLOW (L/SEC) | 61.52 | 80.00 | 92.25 | 107.73 | 119.26 | 130.49 |
| CONTROLLED FLOW (L/SEC) | 59.61 | 63.77 | 65.76 | 68.63 | 70.48 | 72.28 |
| STORAGE REQUIRED (L/SEC) | 8.54 | 26.95 | 37.82 | 53.85 | 65.80 | 77.43 |

7.8 Impact of Stormwater Discharge on Existing Culvert and Ditch

Stormwater from the site will discharge to the ditch on city right of way along Millennium Parkway (Refer: Site Servicing Drawing C2). The post development flow proposed to control under pre-development flow to reduce the rate of discharge. The maximum calculated post development discharge rate for 100 years rainfall event 130.49 L/sec will control at 64.16 L/sec (approximately 49%). Therefore proposed development will have no adverse impact on existing ditch.

New 450 mm diameter corrugated steel culvert recommended to be installed at the proposed entrance to convey the stormwater along the existing ditch. The inlet and outlet of proposed culverts to be matched with existing slope and grading to ensure the existing flow pattern in the ditch remain same after development of the site.

7.9 Water Quality Control

As per stormwater Management Report Mac-5 SWMF Millennium Parkway, Oct 28, 2016 by G.D. Jewell the facility is sized according to wetland criteria provided in the design manual (Ontario Ministry of Environment, 2003). Target water quality objectives are for 80% removal of incoming sediment (Enhanced).

Since flow from the proposed development site will ultimately diverted to Stormwater Management Facility therefore no water quality measure is proposed for the development.

7.10 Erosion and Sediment Control during Construction

During Site construction, various temporary measures will be implemented to prevent the discharge of sediment laden Stormwater from the Site. These measures include silt fencing, catch basin buffers and mud-mats.

In addition to the above, the following “good housekeeping” measures are recommended:

- All exposed soil shall be stabilized as soon as possible with a seed and mulch application as directed by the Engineer.
- No construction activity or machinery shall intrude beyond the silt/snow fence or limit of construction area. All construction vehicles shall leave the site at designated locations as shown on the plans.
- Stockpiles of soil shall be set back from any watercourse and stabilized against erosion as soon as possible. A set back of at least 15m from any top-of-bank, watercourse or pond is required.
- Cleaning and repairs of mud-mats and any other temporary sediment control measures shall be completed as deemed necessary through regular inspection.
- Sediment/silt shall be removed from the sediment control devices after storm events and deposited in areas as approved by the engineer.
- All re-graded areas within the development which are not occupied by buildings, roadways, sidewalks, or driveways shall be top-soiled and sodded/seeded immediately after completion of final grading operations as directed by the engineer.

8.0 MINOR SYSTEM DRAINAGE

Minor storm drainage (2-year storm event) is designed to convey stormwater to existing storm sewer (Refer: Drawing C2). Storm Sewer Design sheet attached at Appendix C.

9.0 MAJOR SYSTEM DRAINAGE

The overland flow will not impact the building since the grading of the site ensures storm flows greater than 100 years will be able to flow overland through the site without any impact to proposed buildings and adjacent site. Overland flow direction shown in Grading Plan (Drawing C1).

10.0 SANITARY FLOW ESTIMATE

Waste water discharge from the proposed site is calculated as follows:

Waste water flow (From 2nd Floor to 5th Floor):

| | |
|-----------------------|---|
| Total Number of Beds | = 95 Beds. |
| Room Standards | = King & Queen Bedroom |
| Population Equivalent | = 2 person/bed |
| Average Daily Flow | = 250 L/Capita/day ² |
| Average Total Flow | = 250 x 95 x 2 L/day = 0.549 L/sec |

² (OBC 8.2.1.3.A.5(a))

$$\begin{aligned} \text{No of Self Serve Laundry} &= 2 \\ \text{Average flow per laundry} &= 2500 \text{ L/day}^3 \\ \text{Total average flow from laundry} &= 2500 \times 2 \text{ L/day} = \mathbf{0.057 \text{ L/sec}} \end{aligned}$$

Wastewater Flows (Hotel-Ground Floor):

$$\begin{aligned} \text{Ground Floor Common Area} &= 370 \text{ m}^2 \\ \text{Average Sanitary Flow}^4 &= 100 \text{ L/day} / 10 \text{ m}^2 \\ \text{Average Sanitary Flow} &= 100 \times 37 \text{ L/capita/day} \\ &= 3700 \text{ L/day} \\ &= \mathbf{0.04 \text{ L/sec}} \end{aligned}$$

$$\begin{aligned} \text{Total Hotel Average Daily Flow} &= (0.549 + 0.057 + 0.04) \text{ L/sec} \\ &= \mathbf{0.646 \text{ L/sec}} \end{aligned}$$

$$\begin{aligned} \text{Peaking Factor: PF} &= 1 + \frac{14}{(4 + (P/1000)^{0.5})} \\ &= 1 + \frac{14}{4 + (190/1000)^{0.5}} \end{aligned}$$

$$\begin{aligned} &= 2.0 \\ \text{Peak daily flow from Hotel:} &= 2.0 \times 0.646 = \mathbf{1.292 \text{ L/sec}} \end{aligned}$$

$$\begin{aligned} \text{Infiltration Allowance} &= 0.26 \text{ Liter/second/ha} \\ &= 0.26 \times 0.61 \text{ L/sec} \\ &= \mathbf{0.158 \text{ L/sec}} \end{aligned}$$

$$\begin{aligned} \text{Estimated Peak Sanitary Flow} &= \text{Daily Peak Sewage Flow} + \text{Infiltration Allowance} \\ &= \mathbf{1.292 + 0.158 = 1.45 \text{ L/sec}} \end{aligned}$$

11.0 WATER DEMAND ESTIMATE**11.1 Domestic Demand**

$$\begin{aligned} \text{Average Daily Demand}^5 &= 28 \text{ m}^3 / \text{heyday} \\ \text{Area of the site} &= 0.61 \text{ ha.} \\ \text{Average Day Demand} &= 28 \times 0.61 \text{ m}^3 / \text{day} \\ &= 17.08 \text{ m}^3 / \text{day} \\ &= 0.197 \text{ L/sec} \end{aligned}$$

As per MOECC standards, a Maximum Day Factor of 2.0 and peak hourly demand Factor of 4.5 will be applied to the average day flows;

³ OBC 8.2.1.3.A.5.(c)

⁴ OBC 8.2.1.3.(1).4.(ii)(A)

⁵ (Design Guidelines for Drinking Water System, MECP, 2008)

Maximum day demand = $0.197 \text{ L/sec} \times 2.0 = 0.395 \text{ L/sec}$
 Maximum hour demand (AM) = $0.790 \text{ L/sec} \times 4.5 = \mathbf{0.889 \text{ L/sec}}$

11.2 Fire Flow Demand

As per Fire Underwriter Survey, Fire flow demand calculated as presented as Table 6, Appendix F.

Required Fire Flow: **50 L/Sec**

Maximum Water Demand = Maximum day demand + Fire water Demand
 $= 0.295 + 50.0 = \mathbf{50.295 \text{ L/sec}}$

11.3 Hydrant Flow Calculations

Hydrant Flow Calculations:

Calculate Flow at 20 P.S.I. Residual Pressure

$$Q_A = Q_T \left(\frac{h_t}{h_a} \right)^{0.5}$$

Where:

Q_A = Flow at 20 P.S.I.

Q_T = Flow at Test Pressure

h_a = Pressure Drop Available

h_t = Pressure Drop at Test

A hydrant flow test was carried out on the closest hydrant in front of the property (As shown in Key Map . Results are attached in Appendix B, The hydrant flow calculations are as follows,

$$Q_A = 1680 \sqrt{\frac{(63 - 20)}{(71 - 63)}}$$

= 3894.92 GPM

= 245.73 L/sec

| | |
|----------------------------------|---------------------|
| Maximum Water Demand: | 50.295 L/sec |
| Available Water Supply (20 PSI): | 245.73 L/sec |

12.0 SERVICE CONNECTIONS

12.1 Sanitary:

A 150 mm diameter sanitary sewer service connection proposed to serve the proposed development by connecting to 200 mm diameter municipal sewer on Millennium Parkway right of way. (Refer: Site Servicing Plan Drawing C2).

12.2 Domestic / Fire Water

A 100 mm diameter of water service connection proposed to connect existing 300 mm diameter water main on Millennium Parkway right of way to serve the proposed development as shown in Site Servicing Plan (Drawing C2).

12.2 Stormwater Discharge to Municipal System

A stormwater network designed to discharge on existing ditch along south side of the property limit which is ultimately flow west towards the culvert discharging to existing Millenium Parkway Wetland Facility stormwater pond (MAC-5 Pond) designed for quantity and quality control for the proposed development site. (Refer: Stormwater Management Report by G. D. Jewell Engineering Inc. Oct 28, 2016).

13.0 SUMMARY & CONCLUSIONS

This analysis presents a detailed stormwater management control plan addressing both quantity and quality controls required to meet all design criteria. Drainage boundaries have been established to estimate flows to the proposed drainage collection system for the site in order to develop a comprehensive drainage and stormwater management plan for the proposed development. There will be no negative impact or increase in stormwater peak flows under proposed controlled conditions.

The drainage summary of our findings and drainage analysis for the subject property is as follows:

- The hydrologic and hydraulic analysis presented in this report addresses the existing and proposed site conditions;
- External agencies' criteria were collected and reviewed during the course of the study and all other available information was retrieved and reviewed;
- Impervious areas was calculated under proposed condition and a 14% increase in impervious areas was found;
- Stormwater management design was performed for the subject site to provide flow quantity control;

- Existing Millennium Parkway Wetland Facility (MAC – 5 Pond) will be providing flow quality control – therefore no additional quality control proposed for the subject development;
- Preliminary design was performed for the proposed storm sewer network to convey the minor system runoff;
- Recommended quantity control measures for the site are achieved through the use of a 185mm diameter orifice plate;
- Adequate stormwater runoff storage for large design storms is achieved through temporary surface storage;
- These measures will provide the necessary quantity and quality control to meet the criteria provided by the City of Belleville and Ministry of Transportation.

We trust that this proposed stormwater management plan will provide appropriate service to the proposed site.

Respectfully Submitted,

n Engineering Inc.



Abu. S. Ziauddin M. Eng P. Eng.

PROJECT MANAGER
Municipal Engineer

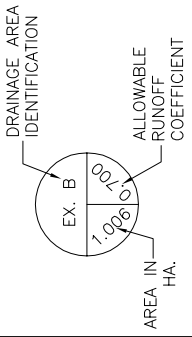
A handwritten signature in black ink, appearing to read "Ramyar Mehraban".

Ramyar Mehraban M. ENG. EIT

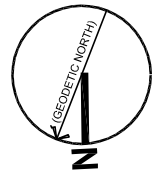
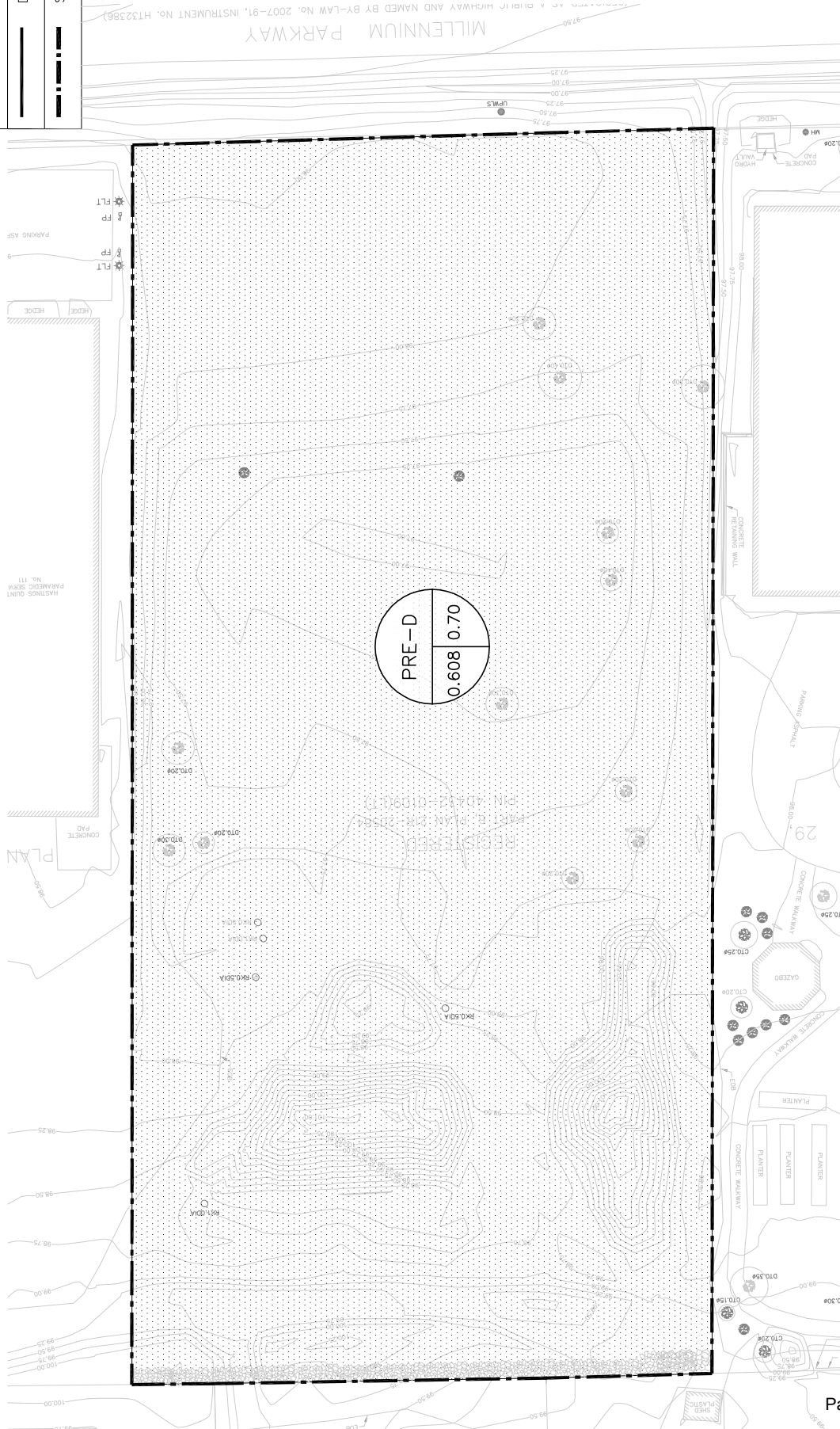
MUNICIPAL PROJECT DESIGNER

Appendix A Figures

LEGEND



NOTE:
 ALLOWABLE RUNOFF COEFFICIENT: 0.70
 AS PER STORMWATER MANAGEMENT
 REPORT (G.D. JEWELL & ASSOCIATES INC.
 OCT. 28, 2016)



DATE: 08 JAN. 2020

SCALE: NTS

DRAWING NO.:

DR-101

DRAWN BY: AZ

CHECKED BY: AZ

PROJECT NO.:

19-63

DRAWING TITLE:

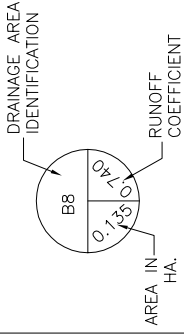
**PRE-DEVELOPMENT
 SITE DRAINAGE PLAN**

PROJECT:

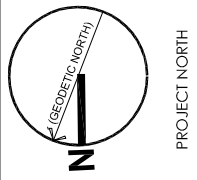
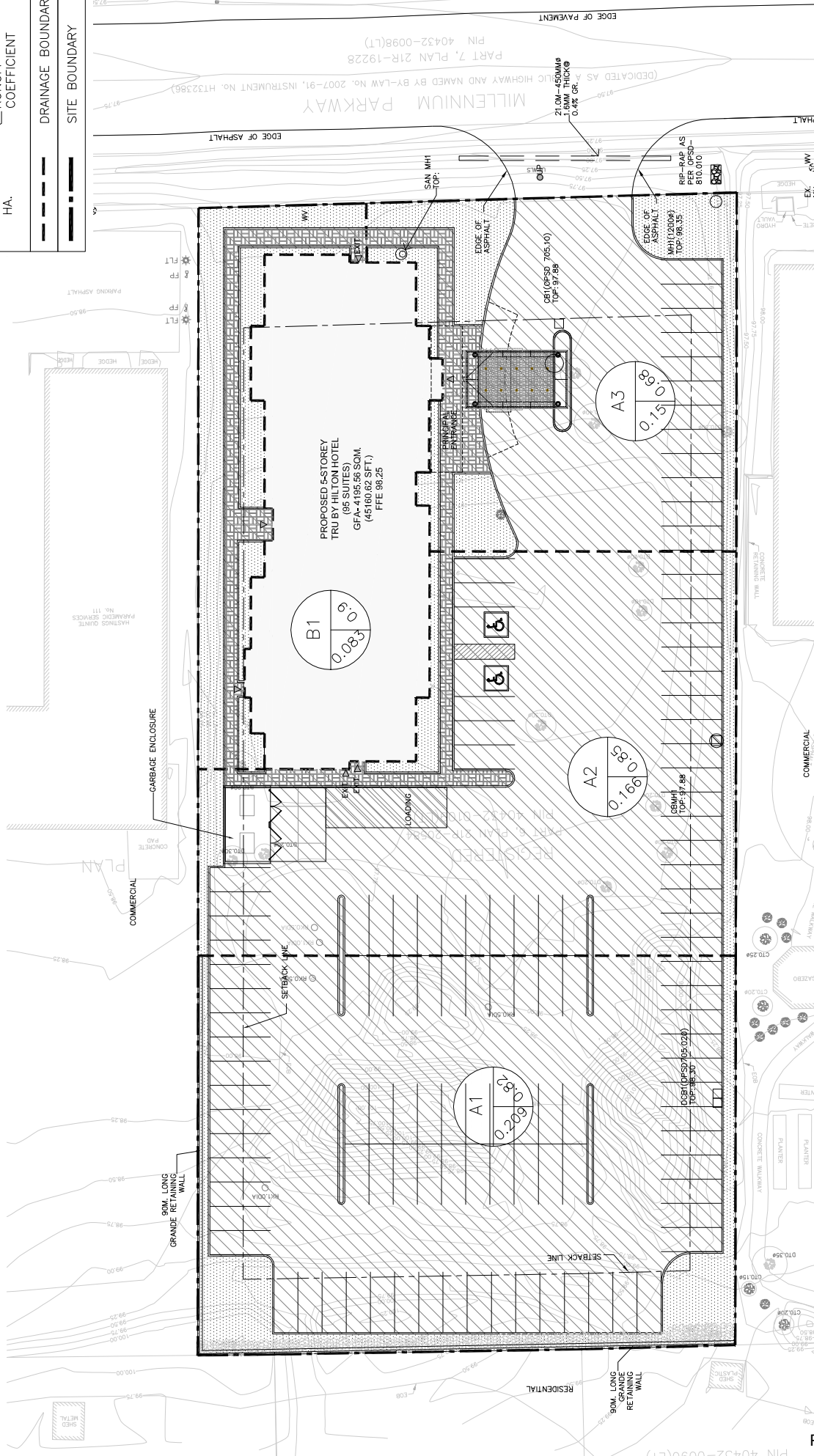
**TRU BY HILTON
 PROPOSED HOTEL
 MILLENNIUM PARKWAY
 BELLEVILLE, ON**

n Architecture Inc
 9120 HWY 108, SUITE 108
 RICHMOND HILL, ONTARIO, L4B 5J9
 T: 416.303.4821 F: 416.663.340.5266
 WWW.NARCHITECTURE.COM

LEGEND



| LAND COVER | HATCH | AREA (SQ.M.) | RUNOFF CO-EFFICIENT |
|-------------------|-------------------|--------------|---------------------|
| ROOF | [Hatched Pattern] | 839.11 | 0.90 |
| LANDSCAPING | [Hatched Pattern] | 914.43 | 0.20 |
| CONCRETE/ ASPHALT | [Hatched Pattern] | 4338.50 | 0.90 |



PROJECT NORTH

| | | |
|--------------------|----------------|---------------|
| DATE: 08 JAN. 2020 | SCALE: NTS | DR-102 |
| DRAWN BY: AZ | CHECKED BY: AZ | |
| PROJECT NO.: | PROJECT NO.: | 19-63 |

POST-DEVELOPMENT SITE DRAINAGE PLAN

**TRU BY HILTON
PROPOSED HOTEL
MILLENNIUM PARKWAY
BELLEVILLE, ON**

PROJECT:



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Stormwater Management Report
Mac-5 SWMF Millennium Parkway

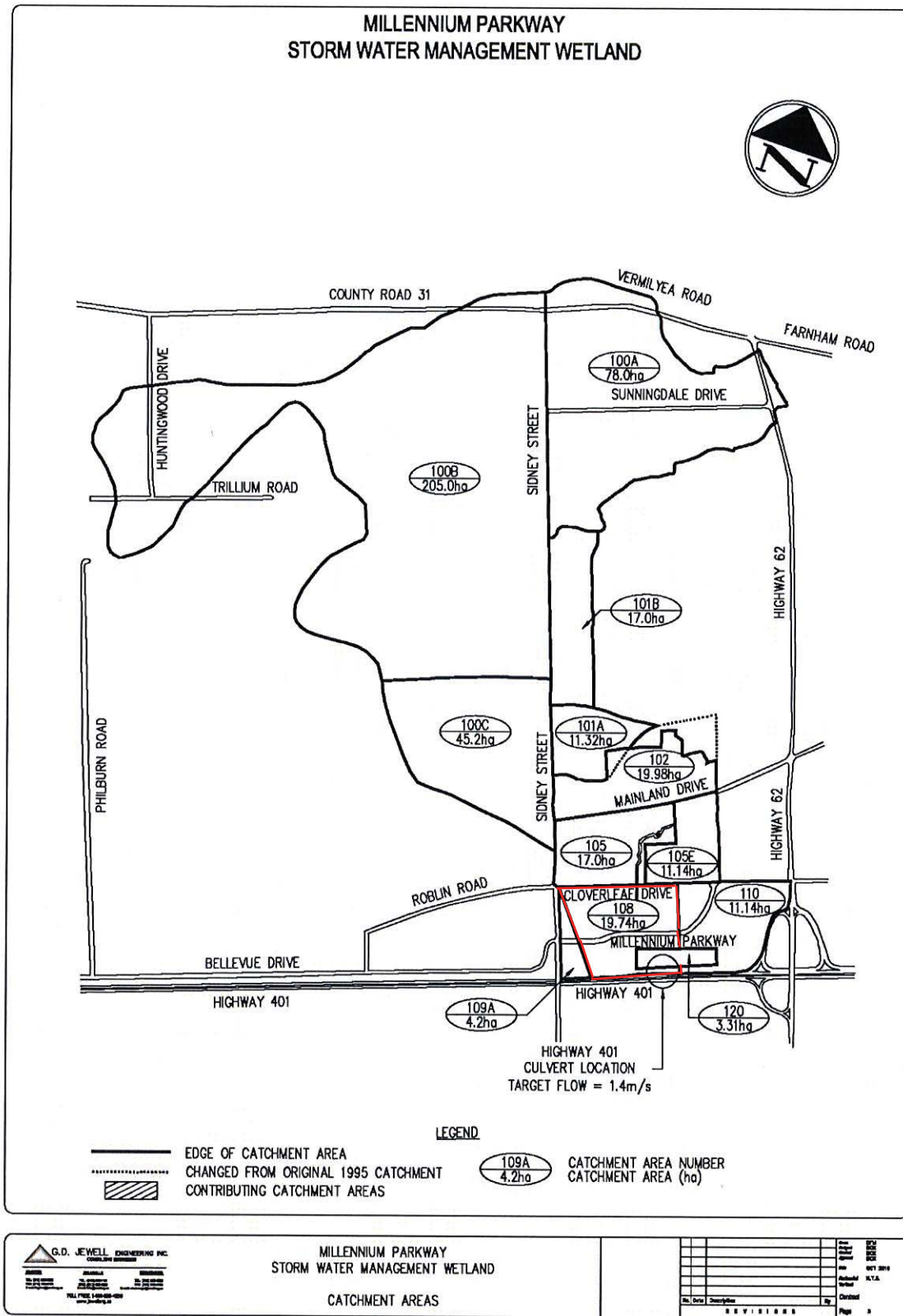


Figure 3-1: Catchment Areas Adapted from Gore & Storrie and EGA

4 Monitoring Plan

The existing Certificate of Approval contains a monitoring plan that was proposed by the original pond designers (Ecos Garatech, 1996). That plan was developed in response to BQRAP guidelines that were in place at the time. These guidelines were revised in 2006 to align with the 2003 version of the MOE Design Manual (see Appendix C) and no longer call for specific discharge targets. It was understood that the sizing provided in the MOE Design Manual is based on testing experience on stormwater management facilities. The testing included continuous sampling events that captured several events throughout a season. Design objectives for removal is not per event, but over a season.

A sampling program to assure the pond is meeting the objectives cannot rely on grab samples that are subject to the timing of the first flush. Results from grab samples are not reliable. However, continuous a sampling program is not feasible for most facility operators due to the cost of implementation. The inherent understanding is a facility that has been constructed to meet the sizing and hydraulic constraints in the guidelines can expect to achieve similar results. Assuming the pond is functioning, sediment should be accumulating in the facility. Depending on the level of development over the period of time of operation, accumulation rates may be forecasted.

Accumulation rates may be estimated with the assistance of loading data provided in Table 6.3 of the MOE Design Manual (Ontario Ministry of the Environment, 2003). This is based on the imperviousness of the contributing area. The weighted imperviousness is determined by multiplying the area of each catchment by the imperviousness and then dividing the sum of $A \times I$ by the total catchment area. This is seen in Equation 3.

Equation 3: Weighted Imperviousness

$$\text{Weighted Imperviousness} = \frac{\sum(A_1 \cdot I_1, A_2 \cdot I_2, \dots, A_n \cdot I_n)}{\sum(A_1, A_2 \dots A_n)}$$

Table 4-1: Contributing Catchment Areas and Imperviousness Used to Determine Weighted Imperviousness

| Catchment | Area | Imperviousness | A x I |
|--------------|--------------|----------------|--------------|
| 102 | 19.98* | 0.28 | 5.59 |
| 105 | 17 | 0.28 | 4.76 |
| 105E | 11.14 | 0.28 | 3.12 |
| 108 | 19.74 | 0.70 | 13.82 |
| 109A | 4.2 | 0.70 | 2.94 |
| 110 | <u>18.15</u> | 0.70 | <u>12.71</u> |
| Total | 90.21 | Total | 42.94 |

$$\text{Weighted Imperviousness} = \frac{42.94}{90.21} = 47.6\%$$

Annual sediment loading (into the wetland) is determined by interpolation of Table 6.3. The lower bounding value of 35% imperviousness has a loading rate of 0.6m³/ha/year and the upper bounding

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Mac-5 SWMF Millennium Parkway

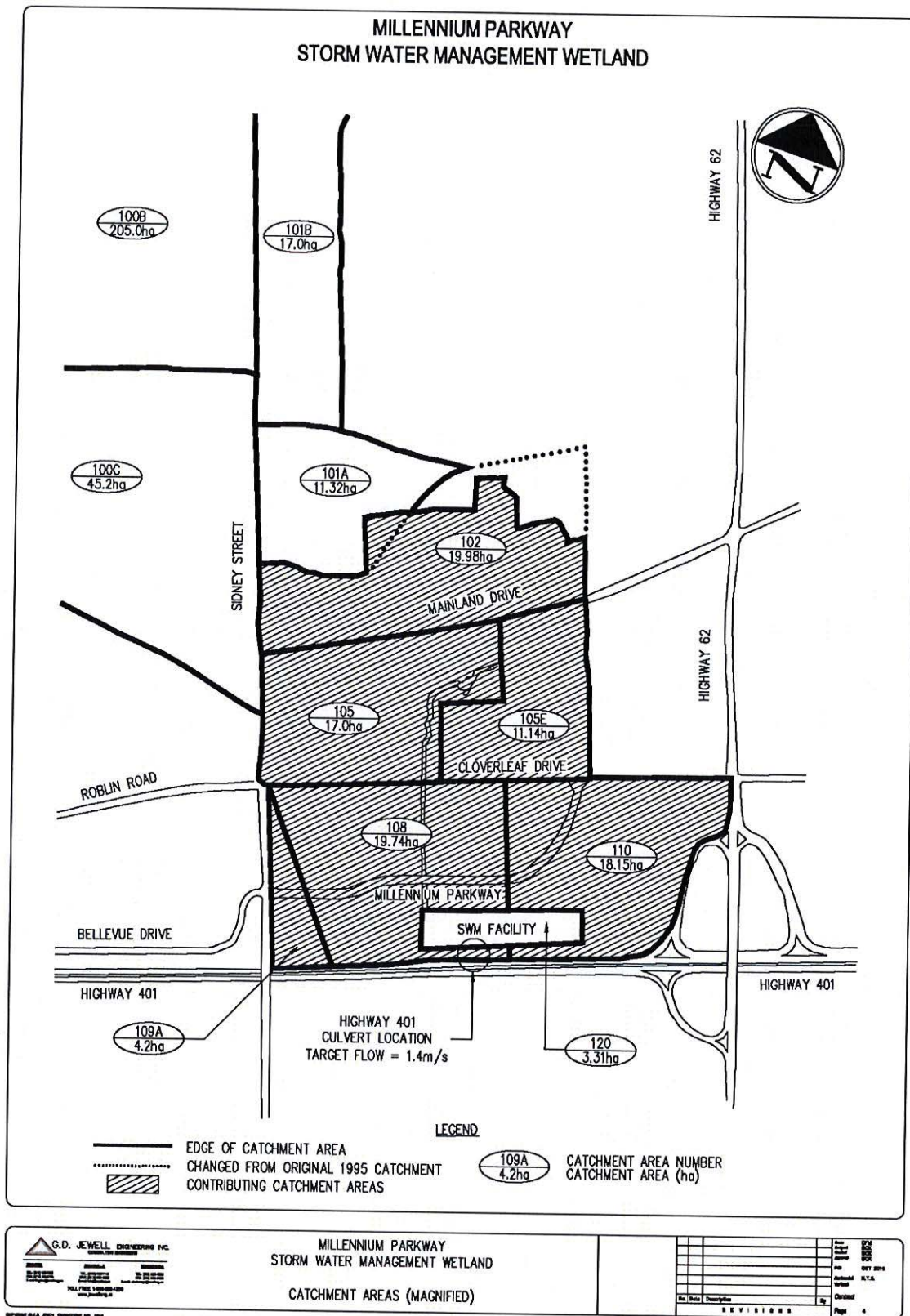


Figure 3-3: Revised Catchment Area to Millennium Wetland per GDJE

Stormwater Management Report
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Environment Canada/Environnement Canada

Short Duration Rainfall Intensity-Duration-Frequency Data
 Données sur l'intensité, la durée et la fréquence des chutes
 de pluie de courte durée

Gumbel - Method of moments/Méthode des moments

2014/12/21

=====

BELLEVILLE ON 6150689
 (composite)
 Latitude: 44 9'N Longitude: 77 23'W Elevation/Altitude: 76 m
 Years/Années : 1960 - 2006 # Years/Années : 37

=====

Table 1 : Annual Maximum (mm)/Maximum annuel (mm)

| Year Année | 5 min | 10 min | 15 min | 30 min | 1 h | 2 h | 6 h | 12 h | 24 h |
|---------------|-------|--------|--------|--------|------|------|------|------|------|
| 1960 | 6.3 | 9.1 | 12.4 | 23.4 | 25.4 | 35.1 | 53.8 | 55.1 | 55.9 |
| 1961 | 6.1 | 7.9 | 8.9 | 12.2 | 18.0 | 18.8 | 23.9 | 34.0 | 36.3 |
| 1963 | 12.4 | 19.0 | 23.1 | 28.4 | 30.7 | 31.0 | 31.0 | 31.7 | 44.4 |
| 1964 | 4.3 | 5.6 | 7.4 | 12.2 | 12.4 | 20.6 | 45.2 | 45.7 | 45.7 |
| 1966 | 6.3 | 8.9 | 10.4 | 11.9 | 13.2 | 16.0 | 32.8 | 37.8 | 38.1 |
| 1967 | 7.4 | 9.9 | 10.4 | 10.4 | 11.9 | 13.2 | 26.4 | 42.4 | 58.7 |
| 1968 | 7.9 | 11.9 | 13.7 | 18.5 | 21.8 | 27.2 | 43.9 | 57.1 | 57.1 |
| 1969 | 5.8 | 9.7 | 13.0 | 17.5 | 24.4 | 31.0 | 37.8 | 43.2 | 62.2 |
| 1971 | 7.4 | 11.4 | 13.0 | 23.9 | 25.1 | 25.4 | 25.7 | 25.7 | 32.5 |
| 1972 | 9.4 | 10.7 | 11.7 | 12.4 | 14.7 | 20.6 | 28.2 | 33.5 | 50.5 |
| 1973 | 7.4 | 10.7 | 11.9 | 18.0 | 21.3 | 21.8 | 37.3 | 45.5 | 48.0 |
| 1974 | 10.9 | 15.2 | 17.8 | 25.4 | 25.4 | 25.4 | 34.3 | 42.7 | 42.7 |
| 1977 | 4.8 | 8.1 | 9.9 | 14.7 | 25.1 | 30.2 | 60.5 | 66.0 | 66.0 |
| 1980 | 13.2 | 16.9 | 19.0 | 20.5 | 20.5 | 34.6 | 46.9 | 47.6 | 59.6 |
| 1981 | -99.9 | -99.9 | 13.3 | 25.5 | 29.4 | 34.6 | 46.2 | 49.2 | 57.4 |
| 1982 | 4.6 | 8.5 | 10.1 | 14.2 | 18.3 | 24.7 | 39.8 | 45.0 | 45.0 |
| 1983 | 6.5 | 8.9 | 10.5 | 18.4 | 22.2 | 30.7 | 39.6 | 39.6 | 50.3 |
| 1984 | 5.1 | 8.1 | 10.1 | 11.3 | 19.7 | 23.7 | 33.4 | 51.4 | 55.1 |
| 1985 | 10.5 | 16.2 | 20.0 | 27.0 | 27.4 | 42.3 | 42.3 | 44.5 | 44.5 |
| 1986 | 9.1 | 14.4 | 16.4 | 23.2 | 25.2 | 35.0 | 59.2 | 68.8 | 78.9 |
| 1987 | 4.3 | 6.6 | 9.3 | 14.2 | 24.7 | 37.1 | 39.2 | 39.2 | 39.2 |
| 1988 | 3.7 | 6.2 | 7.4 | 8.6 | 9.2 | 10.6 | 20.8 | 22.2 | 28.2 |
| 1989 | 14.5 | 16.7 | 17.9 | 18.4 | 24.2 | 24.2 | 27.7 | 27.7 | 37.7 |

Stormwater Management Report
Mac-5 SWMF Millennium Parkway

| | | | | | | | | | |
|-------------|------|------|------|------|------|------|-------|-------|-------|
| 1990 | 6.9 | 8.3 | 10.0 | 12.3 | 13.6 | 20.8 | 29.7 | 34.8 | 38.7 |
| 1991 | 8.5 | 13.8 | 18.5 | 18.8 | 32.0 | 32.4 | 32.4 | 32.4 | 32.7 |
| 1992 | 6.3 | 7.6 | 8.4 | 13.2 | 18.8 | 21.9 | 38.2 | 48.3 | 50.1 |
| 1993 | 8.2 | 15.8 | 23.6 | 28.3 | 28.3 | 28.3 | -99.9 | -99.9 | 69.6 |
| 1994 | 8.8 | 10.2 | 14.5 | 18.3 | 23.6 | 25.5 | 38.2 | 49.2 | 52.8 |
| 1995 | 8.0 | 12.9 | 14.9 | 19.3 | 27.5 | 31.5 | 48.5 | 58.5 | 67.3 |
| 1996 | 6.9 | 10.4 | 13.4 | 19.2 | 25.1 | 41.3 | 41.5 | 53.8 | 53.8 |
| 1997 | 10.3 | 16.8 | 20.9 | 25.5 | 42.8 | 50.0 | 56.0 | 56.0 | 56.0 |
| 1998 | 9.5 | 12.1 | 15.1 | 22.1 | 25.0 | 32.6 | 38.6 | 38.6 | 50.2 |
| 1999 | 9.6 | 13.1 | 17.9 | 23.2 | 29.4 | 36.9 | 42.8 | 72.7 | 72.7 |
| 2000 | 10.4 | 13.4 | 14.7 | 16.8 | 29.0 | 39.8 | 52.0 | 52.4 | 53.0 |
| 2001 | 7.4 | 10.1 | 11.0 | 11.8 | 16.7 | 17.4 | 21.2 | 31.6 | 39.8 |
| 2002 | 7.1 | 9.4 | 14.0 | 21.0 | 22.4 | 26.0 | 39.4 | 44.2 | 49.8 |
| 2003 | 7.6 | 13.5 | 20.1 | 26.2 | 27.0 | 27.0 | 31.1 | -99.9 | 56.2 |
| 2004 | 14.4 | 22.1 | 28.8 | 33.3 | 33.3 | 49.0 | 89.9 | 114.4 | 124.5 |
| 2006 | 9.0 | 14.7 | 18.8 | 19.5 | 19.5 | 19.5 | 37.3 | 42.7 | 59.8 |
| ----- | | | | | | | | | |
| # Yrs. | 38 | 38 | 39 | 39 | 39 | 39 | 38 | 37 | 39 |
| Années | | | | | | | | | |
| Mean | 8.1 | 11.7 | 14.4 | 18.9 | 23.2 | 28.6 | 39.8 | 46.6 | 52.8 |
| Moyenne | | | | | | | | | |
| Std. Dev. | 2.7 | 3.8 | 4.9 | 6.0 | 6.7 | 9.0 | 13.0 | 16.3 | 16.4 |
| Écart-type | | | | | | | | | |
| Skew. | 0.69 | 0.66 | 0.83 | 0.29 | 0.20 | 0.37 | 1.60 | 2.08 | 2.19 |
| Dissymétrie | | | | | | | | | |
| Kurtosis | 3.44 | 3.23 | 3.63 | 2.58 | 4.05 | 3.21 | 7.90 | 10.48 | 11.56 |

*-99.9 Indicates Missing Data/Données manquantes

Warning: annual maximum amount greater than 100-yr return period amount
Avertissement : la quantité maximale annuelle excède la quantité pour une période de retour de 100 ans

| Year/Année | Duration/Durée | Data/Données | 100-yr/ans |
|------------|----------------|--------------|------------|
| 2004 | 6 h | 89.9 | 80.5 |
| 2004 | 12 h | 114.4 | 97.6 |
| 2004 | 24 h | 124.5 | 104.4 |

Stormwater Management Report
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Table 2a : Return Period Rainfall Amounts (mm)
Quantité de pluie (mm) par période de retour

| Duration/Durée | 2 | 5 | 10 | 25 | 50 | 100 | #Years Années |
|----------------|--------|--------|--------|--------|--------|--------|------------------|
| | yr/ans | yr/ans | yr/ans | yr/ans | yr/ans | yr/ans | |
| 5 min | 7.6 | 10.0 | 11.6 | 13.5 | 15.0 | 16.5 | 38 |
| 10 min | 11.1 | 14.4 | 16.7 | 19.5 | 21.6 | 23.6 | 38 |
| 15 min | 13.6 | 18.0 | 20.8 | 24.5 | 27.2 | 29.9 | 39 |
| 30 min | 18.0 | 23.2 | 26.7 | 31.1 | 34.4 | 37.6 | 39 |
| 1 h | 22.1 | 28.0 | 31.9 | 36.8 | 40.5 | 44.1 | 39 |
| 2 h | 27.1 | 35.1 | 40.4 | 47.0 | 52.0 | 56.9 | 39 |
| 6 h | 37.7 | 49.1 | 56.7 | 66.3 | 73.4 | 80.5 | 38 |
| 12 h | 44.0 | 58.3 | 67.8 | 79.9 | 88.8 | 97.6 | 37 |
| 24 h | 50.1 | 64.7 | 74.3 | 86.5 | 95.5 | 104.4 | 39 |

Table 2b :

Return Period Rainfall Rates (mm/h) - 95% Confidence limits
Intensité de la pluie (mm/h) par période de retour - Limites de confiance de 95%

| Duration/Durée | 2 | 5 | 10 | 25 | 50 | 100 | #Years Années |
|----------------|---------|----------|----------|----------|----------|----------|------------------|
| | yr/ans | yr/ans | yr/ans | yr/ans | yr/ans | yr/ans | |
| 5 min | 91.6 | 120.0 | 138.8 | 162.6 | 180.2 | 197.7 | 38 |
| | +/- 9.4 | +/- 15.8 | +/- 21.3 | +/- 28.8 | +/- 34.4 | +/- 40.1 | 38 |
| 10 min | 66.5 | 86.6 | 100.0 | 116.9 | 129.4 | 141.8 | 38 |
| | +/- 6.7 | +/- 11.2 | +/- 15.1 | +/- 20.4 | +/- 24.4 | +/- 28.5 | 38 |
| 15 min | 54.4 | 71.8 | 83.4 | 97.9 | 108.7 | 119.5 | 39 |
| | +/- 5.7 | +/- 9.6 | +/- 12.9 | +/- 17.4 | +/- 20.8 | +/- 24.3 | 39 |
| 30 min | 35.9 | 46.5 | 53.4 | 62.2 | 68.8 | 75.3 | 39 |
| | +/- 3.4 | +/- 5.8 | +/- 7.8 | +/- 10.5 | +/- 12.6 | +/- 14.7 | 39 |
| 1 h | 22.1 | 28.0 | 31.9 | 36.8 | 40.5 | 44.1 | 39 |
| | +/- 1.9 | +/- 3.2 | +/- 4.4 | +/- 5.9 | +/- 7.1 | +/- 8.2 | 39 |
| 2 h | 13.5 | 17.5 | 20.2 | 23.5 | 26.0 | 28.5 | 39 |
| | +/- 1.3 | +/- 2.2 | +/- 3.0 | +/- 4.0 | +/- 4.8 | +/- 5.6 | 39 |
| 6 h | 6.3 | 8.2 | 9.5 | 11.1 | 12.2 | 13.4 | 38 |
| | +/- 0.6 | +/- 1.1 | +/- 1.4 | +/- 1.9 | +/- 2.3 | +/- 2.7 | 38 |
| 12 h | 3.7 | 4.9 | 5.7 | 6.7 | 7.4 | 8.1 | 37 |
| | +/- 0.4 | +/- 0.7 | +/- 0.9 | +/- 1.2 | +/- 1.5 | +/- 1.7 | 37 |
| 24 h | 2.1 | 2.7 | 3.1 | 3.6 | 4.0 | 4.4 | 39 |
| | +/- 0.2 | +/- 0.3 | +/- 0.4 | +/- 0.6 | +/- 0.7 | +/- 0.8 | 39 |

Stormwater Management Report
 Mac-5 SWMF Millennium Parkway

Table 3 : Interpolation Equation / Équation d'interpolation: $R = A \cdot T^B$

R = Interpolated Rainfall rate (mm/h) / Intensité interpolée de la pluie (mm/h)

RR = Rainfall rate (mm/h) / Intensité de la pluie (mm/h)

T = Rainfall duration (h) / Durée de la pluie (h)

| Statistics/Statistiques | 2 | 5 | 10 | 25 | 50 | 100 |
|-------------------------------|--------|--------|--------|--------|--------|--------|
| | yr/ans | yr/ans | yr/ans | yr/ans | yr/ans | yr/ans |
| Mean of RR/Moyenne de RR | 32.9 | 42.9 | 49.5 | 57.9 | 64.1 | 70.3 |
| Std. Dev. /Écart-type (RR) | 31.7 | 41.6 | 48.1 | 56.4 | 62.5 | 68.6 |
| Std. Error/Erreur-type | 6.8 | 8.7 | 9.9 | 11.4 | 12.6 | 13.7 |
| Coefficient (A) | 20.3 | 26.4 | 30.4 | 35.5 | 39.3 | 43.0 |
| Exponent/Exposant (B) | -0.677 | -0.677 | -0.678 | -0.678 | -0.678 | -0.678 |
| Mean % Error/% erreur moyenne | 7.8 | 7.4 | 7.2 | 7.2 | 7.2 | 7.2 |

Appendix B
Pre & Post Development
Flow Analysis



n Engineering Inc

Calculation Sheet 1

| | |
|---|---------------------------|
| Project: | TRU BY HILTON |
| Address: | MILLENNIUM PARKWAY |
| Town/Township/City | City of Belleville |
| Project No. | n1963 |
| Proposed Development Area (m²) | 6092.04 |
| Date: | 1/20/2020 |
| AREA "A" (Hectares) 0.6092 | |

According to Stormwater Management Report Upper No-Name Creek Millennium Parkway Wetland Facility Prepared by G.D JEWELL ENGINEERING INC. Oct 2018,page 19, 0.70 is considered to be pre-development runoff coefficient.

Rainfall intensity: $I=AT^B$
 Where:
 I = Rainfall Intensity (mm/hr)
 A = coefficient
 B = coefficient
 t =Time of concentration (hr) 15.00

Design Flow:

$$Q = 0.00278 CIA$$

Where:
 Q= Flow (m³/second)
 C = Runoff coefficient
 A = Draingae Area (hectares)
 I= Average rainfall intensity (milimeters/hour)

| Return Period (Years) | 2 -Years | 5-Years | 10 -Years | 25 -Years | 50 -Years | 100-Years |
|------------------------------|-----------------|----------------|------------------|------------------|------------------|------------------|
| A | 20.30 | 26.40 | 30.40 | 35.50 | 39.30 | 43.00 |
| B | -0.677 | -0.677 | -0.678 | -0.678 | -0.678 | -0.678 |
| t (mins) | 15.00 | 15.00 | 15.00 | 15.00 | 15.00 | 15.00 |
| i (mm/hr) | 51.89 | 67.48 | 77.82 | 90.87 | 100.60 | 110.07 |
| C | 0.70 | 0.70 | 0.70 | 0.70 | 0.70 | 0.70 |
| Q (m³/sec) | 0.06 | 0.08 | 0.09 | 0.11 | 0.12 | 0.13 |
| Q (l/sec) | 61.52 | 80.00 | 92.25 | 107.73 | 119.26 | 130.49 |



n Engineering Inc

Calculation Sheet 2

| | |
|--|---------------------------|
| Project: | TRU BY HILTON |
| Address: | MILLENNIUM PARKWAY |
| Town/Township/City | City of Belleville |
| Project No. | n1963 |
| Proposed Development Area (m²) | 6092.04 |
| Date: | 1/20/2020 |

POST DEVELOPMENT RUNOFF COEFFICIENT

| AREA TYPE | AREA (M ²) | RUNOFF COEFFICIENT "C" | AREA x C |
|----------------------|------------------------|------------------------|-------------|
| ASPHALT/CONC. | 4329.600 | 0.90 | 3896.64 |
| LANDSCAPED AREA | 923.000 | 0.25 | 230.75 |
| BUILDING | 839.110 | 0.90 | 755.20 |
| ΣAREA X C | | | 4882.59 |
| WEIGHTED AVERAGE "C" | | | 0.80 |
| AREA "A" (Hectares) | | | 0.609 |

Rainfall intensity: $I=AT^B$

Where:

I = Rainfall Intensity (mm/hr)

A = coefficient

B = coefficient

t = Time of concentration (hr) 15.00

Design Flow:

$$Q = 0.00278 CIA$$

Where:

Q = Flow (m³/second)

C = Runoff coefficient

A = Drainage Area (hectares)

I = Average rainfall intensity (millimeters/hour)

| Return Period (Years) | 2 -Years | 5 -Years | 10 -Years | 25 -Years | 50 -Years | 100 -Years |
|-------------------------|----------|----------|-----------|-----------|-----------|------------|
| A | 20.30 | 26.40 | 30.40 | 35.50 | 39.30 | 43.00 |
| B | -0.677 | -0.677 | -0.678 | -0.678 | -0.678 | -0.678 |
| t (mins) | 15.00 | 15.00 | 15.00 | 15.00 | 15.00 | 15.00 |
| I (mm/hr) | 51.89 | 67.48 | 77.82 | 90.87 | 100.60 | 110.07 |
| C | 0.80 | 0.80 | 0.80 | 0.80 | 0.80 | 0.80 |
| Q (m ³ /sec) | 0.07 | 0.09 | 0.11 | 0.12 | 0.14 | 0.15 |
| Q (l/sec) | 70.81 | 92.08 | 106.18 | 124.00 | 137.27 | 150.19 |

Appendix C
Storm Drainage Design Sheet



**Public Works and Engineering Department
Storm Drainage Design Chart
For Circular Drains Flowing Full
City of Belleville**

Date Prepared 20-Jan-20
 Project MILLENNIUM PARKWAY
 Project No. n1963
 t_c (start): 15.0 minutes

| Catchment ID | Total Area (ha.) | Captured By | Outlet to | Catchments | | Hydrology | | Hydraulics | | | | | | | |
|--------------|------------------|-------------|-----------|-----------------------|-------|---------------|----------------|-------------------------------------|---|--------------------------------|-----------|------------|----------------------------|--------------|---------------------|
| | | | | R runoff Coeff. | A x R | ACC. A x R | t_c (min) | Rainfall Intensity I_2 (mm/hr) | Peak Flow (m ³ /sec) 2-yrs | STORM SEWER DESIGN INFORMATION | | | | | TIME SECT. (min) |
| | | | | | | | | | | size (mm) | slope (%) | length (m) | Q full (m ³ /s) | V full (m/s) | |
| A1 | 0.209 | DCB1 | CBMH1 | 0.82 | 0.171 | 0.17 | 15.00 | 51.89 | 0.025 | 300 | 0.35 | 35.00 | 0.057 | 0.809 | 0.72 |
| BLDG | 0.084 | STM Plug | Pipe | 0.90 | 0.076 | 0.08 | 15.00 | 51.89 | 0.011 | 300 | 0.50 | 30.00 | 0.068 | 0.967 | 0.52 |
| A3 | 0.15 | CB1 | Pipe | 0.68 | 0.101 | 0.10 | 15.00 | 51.89 | 0.015 | 300 | 0.35 | 15.00 | 0.057 | 0.809 | 0.31 |
| A2 | 0.166 | CBMH1 | MH1 | 0.85 | 0.142 | 0.35 | 15.72 | 50.27 | 0.049 | 300 | 0.35 | 53.50 | 0.057 | 0.809 | 1.10 |
| Conveyance | | MH1 | DITCH | 0.90 | 0.000 | 0.35 | 16.82 | 48.01 | 0.046 | 300 | 2.00 | 1.00 | 0.137 | 1.935 | 0.01 |

| IDF Curve | | | | | | |
|---|--------|--------|--------|--------|--------|---------|
| Rainfall Intensity (mm/hr) = $I = AT^B$ | | | | | | |
| Constants | 2-yrs | 5-yrs | 10-yrs | 25-yrs | 50 yrs | 100-yrs |
| A | 20.3 | 26.4 | 30.4 | 35.5 | 39.3 | 43.0 |
| B | -0.677 | -0.677 | -0.678 | -0.678 | -0.678 | -0.678 |

Appendix D
Onsite Detention Storage
Orifice Pipe Sizing



n Engineering Inc

Table 1
Orifice Sizing Calculations

| | |
|--|---------------------------|
| Project: | TRU BY HILTON |
| Address: | MILLENNIUM PARKWAY |
| Town/Township/City | City of Belleville |
| Project No. | n1963 |
| Proposed Development Area (m²) | 6092.04 |
| Date: | 1/20/2020 |

| | | |
|--|-------------|----------------|
| Orifice Location | MH1 | |
| Orifice Type | Plate | |
| Invert Elevation | 97.050 | m |
| Min. Ground Elevation | 97.880 | m |
| Orifice Center Elevation | 97.143 | |
| Diameter of Orifice Pipe | 185 | mm |
| Area of Orifice (A) | 0.026866625 | m ² |
| Coefficient of Discharge (C _d) | 0.6 | |
| Gravitational Constant | 9.81 | |

Orifice Flow Equation:

$$Q = C_d A_o \sqrt{2gH}$$

Where:

Q = Flow (m³/sec)

A_o = Orifice area (m²)

g = Gravitational Constant

H = Center line head (m)

C_d = coefficient of discharge,
dimensionless, typically between 0.6
and 0.85, depending on the orifice
geometry

| | 2 years | 5 years | 10 years | 25 years | 50 years | 100 years |
|---|--------------|--------------|--------------|---------------|---------------|---------------|
| Ponding Depth (m) | 0.000 | 0.020 | 0.070 | 0.070 | 0.070 | 0.070 |
| Water Elevation | 97.88 | 97.90 | 97.95 | 97.95 | 97.95 | 97.95 |
| Upstream Head (m) | 0.737 | 0.758 | 0.808 | 0.808 | 0.808 | 0.808 |
| Total Discharge (L/sec) | 61.32 | 62.14 | 64.16 | 64.16 | 64.16 | 64.16 |
| Discharge Velocity (m/sec) | 2.28 | 2.31 | 2.39 | 2.39 | 2.39 | 2.39 |
| Allowable Peak Flow (l/sec) | 61.52 | 80.00 | 92.25 | 107.73 | 119.26 | 130.49 |
| Detention Storage Required (m³) | 8.54 | 26.95 | 37.82 | 53.85 | 65.80 | 77.43 |
| Storage Used in Pipe (m ³) | 7.81 | 7.81 | 7.81 | 7.81 | 7.81 | 7.81 |
| Storage Used in MH (m ³) | 2.65 | 2.65 | 2.65 | 2.65 | 2.65 | 2.65 |
| Storage Used in Ponding (m ³) | 0.00 | 16.48 | 27.36 | 43.39 | 55.33 | 59.90 |
| Total Available Storage | 84.83 | 84.83 | 84.83 | 84.83 | 84.83 | 84.83 |

On-Site Storage Calculator

Project: TRU BY HILTON

City of Belleville

Project No.: n1963

Date: 20-Jan-20

Table 2A - 2 Years Storage

| | | | | | |
|-----------------|-------------------------|------------------|----------|----------------------------------|-----------|
| | | Equation of IDF: | | | |
| $R =$ | 0.80 | | | $I =$ Rainfall Intensity (mm/hr) | |
| $A =$ | 0.61 ha | | $I=AT^B$ | $T =$ Time of Concentration (hr) | |
| $Q_{release} =$ | 0.061 m ³ /s | | | | A= 20.3 |
| | 61.32 L/s | | | | B= -0.677 |

| | | | | | Storage Required (m ³) 8.54 |
|-------|---------|---------------------|---------------------|-------------------|---|
| t_c | $i2$ | $Q2$ | Q_{stored} | Peak Volume | |
| (min) | (mm/hr) | (m ³ /s) | (m ³ /s) | (m ³) | |
| 15 | 51.89 | 0.071 | 0.009 | 8.539 | *** |
| 16 | 49.67 | 0.068 | 0.006 | 6.203 | |
| 17 | 47.67 | 0.065 | 0.004 | 3.810 | |
| 18 | 45.87 | 0.063 | 0.001 | 1.368 | |

On-Site Storage Calculator

Project: TRU BY HILTON

City of Belleville

Project No.: n1963

Date: 20-Jan-20

Table 2B - 5 Years Storage

| | | | | |
|-----------------|-------------------------|------------------|--------------------------------|-----------|
| | | Equation of IDF: | | |
| R = | 0.80 | $I = AT^B$ | I = Rainfall Intensity (mm/hr) | |
| A = | 0.61 ha | | T = Time of Concentration (hr) | |
| $Q_{release} =$ | 0.062 m ³ /s | | | A= 26.4 |
| | 62.14 L/s | | | B= -0.677 |

| t_c (min) | i_5 (mm/hr) | Q_5 (m ³ /s) | Q_{stored} (m ³ /s) | Peak Volume (m ³) | Storage Required (m ³) 26.95 |
|----------------|------------------|------------------------------|-------------------------------------|----------------------------------|--|
| 15 | 67.48 | 0.092 | 0.030 | 26.946 | *** |
| 16 | 64.60 | 0.088 | 0.026 | 24.963 | |
| 17 | 62.00 | 0.085 | 0.022 | 22.907 | |
| 18 | 59.65 | 0.081 | 0.019 | 20.787 | |
| 19 | 57.50 | 0.078 | 0.016 | 18.606 | |
| 20 | 55.54 | 0.076 | 0.014 | 16.372 | |
| 21 | 53.74 | 0.073 | 0.011 | 14.088 | |
| 22 | 52.07 | 0.071 | 0.009 | 11.758 | |
| 23 | 50.53 | 0.069 | 0.007 | 9.386 | |
| 24 | 49.09 | 0.067 | 0.005 | 6.974 | |
| 25 | 47.75 | 0.065 | 0.003 | 4.526 | |
| 26 | 46.50 | 0.063 | 0.001 | 2.043 | |

On-Site Storage Calculator

Project: TRU BY HILTON

City of Belleville

Project No.: n1963

Date: 20-Jan-20

Table 2C - 10 Years Storage

| Equation of IDF: | | | | |
|------------------|-------------------------|---------------------------------|-------------------------------------|--|
| $R =$ | 0.80 | | | $I =$ Rainfall Intensity (mm/hr) |
| $A =$ | 0.61 ha | | $I=AT^B$ | $T =$ Time of Concentration (hr) |
| $Q_{release} =$ | 0.064 m ³ /s | | | A= 30.4 |
| | 64.16 L/s | | | B= -0.678 |
| | | | | Storage Required (m ³) 37.82 |
| t_c (min) | i_{10} (mm/hr) | Q_{10} (m ³ /s) | Q_{stored} (m ³ /s) | Peak Volume (m ³) |
| 15 | 77.82 | 0.106 | 0.042 | 37.818 *** |
| 16 | 74.48 | 0.102 | 0.037 | 35.975 |
| 17 | 71.49 | 0.098 | 0.033 | 34.049 |
| 18 | 68.77 | 0.094 | 0.030 | 32.047 |
| 19 | 66.29 | 0.090 | 0.026 | 29.978 |
| 20 | 64.03 | 0.087 | 0.023 | 27.845 |
| 21 | 61.94 | 0.085 | 0.020 | 25.655 |
| 22 | 60.02 | 0.082 | 0.018 | 23.413 |

On-Site Storage Calculator

Project: TRU BY HILTON

City of Belleville

Project No.: n1963

Date: 20-Jan-20

Table 2D - 25 Years Storage

| | |
|--|--------------------------------|
| Equation of IDF: | |
| R = | 0.80 |
| A = | 0.61 ha |
| Q _{release} = | 0.064 m ³ /s |
| | 64.16 L/s |
| I = AT ^B | I = Rainfall Intensity (mm/hr) |
| | T = Time of Concentration (hr) |
| | A = 35.5 |
| | B = -0.678 |
| Storage Required (m ³) 53.85 | |

| t _c (min) | i ₂₅ (mm/hr) | Q ₂₅ (m ³ /s) | Q _{stored} (m ³ /s) | Peak Volume (m ³) |
|-------------------------|----------------------------|--|--|----------------------------------|
| 15 | 90.87 | 0.124 | 0.060 | 53.851 *** |
| 16 | 86.98 | 0.119 | 0.055 | 52.344 |
| 17 | 83.48 | 0.114 | 0.050 | 50.741 |
| 18 | 80.30 | 0.110 | 0.045 | 49.049 |
| 19 | 77.41 | 0.106 | 0.041 | 47.278 |
| 20 | 74.77 | 0.102 | 0.038 | 45.434 |
| 21 | 72.34 | 0.099 | 0.035 | 43.522 |
| 22 | 70.09 | 0.096 | 0.031 | 41.550 |
| 23 | 68.01 | 0.093 | 0.029 | 39.520 |
| 24 | 66.07 | 0.090 | 0.026 | 37.437 |
| 25 | 64.27 | 0.088 | 0.024 | 35.305 |
| 26 | 62.58 | 0.085 | 0.021 | 33.127 |
| 27 | 61.00 | 0.083 | 0.019 | 30.906 |
| 28 | 59.52 | 0.081 | 0.017 | 28.645 |
| 29 | 58.12 | 0.079 | 0.015 | 26.346 |
| 30 | 56.80 | 0.078 | 0.013 | 24.010 |
| 31 | 55.55 | 0.076 | 0.012 | 21.641 |
| 32 | 54.37 | 0.074 | 0.010 | 19.240 |
| 33 | 53.24 | 0.073 | 0.008 | 16.809 |
| 34 | 52.18 | 0.071 | 0.007 | 14.348 |
| 35 | 51.16 | 0.070 | 0.006 | 11.861 |

On-Site Storage Calculator

Project: TRU BY HILTON

City of Belleville

Project No.: n1963

Date: 20-Jan-20

Table 2E - 50 Years Storage

| Equation of IDF: | | | | |
|------------------|-------------------------|----------------------------|--|--|
| $R =$ | 0.80 | $I = AT^B$ | $I =$ Rainfall Intensity (mm/hr) | |
| $A =$ | 0.61 ha | | $T =$ Time of Concentration (hr) | |
| $Q_{release} =$ | 0.064 m ³ /s | | | A= 39.3 |
| | 64.16 L/s | | | B= -0.678 |
| | | | | Storage Required (m ³) 65.80 |
| t_c (min) | i50 (mm/hr) | Q50 (m ³ /s) | Q _{stored} (m ³ /s) | Peak Volume (m ³) |
| 15 | 100.60 | 0.137 | 0.073 | 65.796 *** |
| 16 | 96.29 | 0.131 | 0.067 | 64.541 |
| 17 | 92.41 | 0.126 | 0.062 | 63.178 |
| 18 | 88.90 | 0.121 | 0.057 | 61.717 |
| 19 | 85.70 | 0.117 | 0.053 | 60.168 |
| 20 | 82.77 | 0.113 | 0.049 | 58.539 |
| 21 | 80.08 | 0.109 | 0.045 | 56.835 |
| 22 | 77.59 | 0.106 | 0.042 | 55.063 |
| 23 | 75.29 | 0.103 | 0.039 | 53.228 |
| 24 | 73.15 | 0.100 | 0.036 | 51.335 |
| 25 | 71.15 | 0.097 | 0.033 | 49.387 |
| 26 | 69.28 | 0.095 | 0.030 | 47.388 |
| 27 | 67.53 | 0.092 | 0.028 | 45.341 |
| 28 | 65.89 | 0.090 | 0.026 | 43.250 |
| 29 | 64.34 | 0.088 | 0.024 | 41.116 |
| 30 | 62.88 | 0.086 | 0.022 | 38.943 |
| 31 | 61.49 | 0.084 | 0.020 | 36.733 |
| 32 | 60.18 | 0.082 | 0.018 | 34.487 |
| 33 | 58.94 | 0.080 | 0.016 | 32.207 |
| 34 | 57.76 | 0.079 | 0.015 | 29.895 |
| 35 | 56.64 | 0.077 | 0.013 | 27.553 |
| 36 | 55.57 | 0.076 | 0.012 | 25.183 |
| 37 | 54.54 | 0.074 | 0.010 | 22.784 |
| 38 | 53.57 | 0.073 | 0.009 | 20.359 |
| 39 | 52.63 | 0.072 | 0.008 | 17.909 |
| 40 | 51.73 | 0.071 | 0.006 | 15.435 |

On-Site Storage Calculator

Project: TRU BY HILTON

City of Belleville

Project No.: n1963

Date: 20-Jan-20

Table 2F - 100 Years Storage

| | | | | | |
|------------------------|-------------------------|------------------|--------------------------------|--|--|
| | | Equation of IDF: | | | |
| R = | 0.80 | $I=AT^B$ | I = Rainfall Intensity (mm/hr) | | |
| A = | 0.61 ha | | T = Time of Concentration (hr) | | |
| Q _{release} = | 0.064 m ³ /s | | | A= 43 | |
| | 64.16 L/s | | | B= -0.678 | |
| | | | | Storage Required (m ³) 77.43 | |

| t _c (min) | i ₁₀₀ (mm/hr) | Q ₁₀₀ (m ³ /s) | Q _{stored} (m ³ /s) | Peak Volume (m ³) |
|-------------------------|-----------------------------|---|--|----------------------------------|
| 15 | 110.07 | 0.150 | 0.086 | 77.428 *** |
| 16 | 105.36 | 0.144 | 0.080 | 76.416 |
| 17 | 101.11 | 0.138 | 0.074 | 75.287 |
| 18 | 97.27 | 0.133 | 0.069 | 74.052 |
| 19 | 93.77 | 0.128 | 0.064 | 72.719 |
| 20 | 90.56 | 0.124 | 0.059 | 71.299 |
| 21 | 87.62 | 0.120 | 0.055 | 69.797 |
| 22 | 84.90 | 0.116 | 0.052 | 68.221 |
| 23 | 82.38 | 0.112 | 0.048 | 66.576 |
| 24 | 80.03 | 0.109 | 0.045 | 64.866 |
| 25 | 77.85 | 0.106 | 0.042 | 63.097 |
| 26 | 75.81 | 0.103 | 0.039 | 61.273 |
| 27 | 73.89 | 0.101 | 0.037 | 59.396 |
| 28 | 72.09 | 0.098 | 0.034 | 57.470 |
| 29 | 70.40 | 0.096 | 0.032 | 55.498 |
| 30 | 68.80 | 0.094 | 0.030 | 53.483 |
| 31 | 67.28 | 0.092 | 0.028 | 51.427 |
| 32 | 65.85 | 0.090 | 0.026 | 49.332 |
| 33 | 64.49 | 0.088 | 0.024 | 47.200 |
| 34 | 63.20 | 0.086 | 0.022 | 45.033 |
| 35 | 61.97 | 0.085 | 0.020 | 42.833 |
| 36 | 60.80 | 0.083 | 0.019 | 40.602 |
| 37 | 59.68 | 0.081 | 0.017 | 38.340 |
| 38 | 58.61 | 0.080 | 0.016 | 36.049 |
| 39 | 57.59 | 0.079 | 0.014 | 33.731 |
| 40 | 56.61 | 0.077 | 0.013 | 31.386 |
| 41 | 55.67 | 0.076 | 0.012 | 29.016 |
| 42 | 54.76 | 0.075 | 0.011 | 26.622 |
| 43 | 53.90 | 0.074 | 0.009 | 24.204 |
| 44 | 53.06 | 0.072 | 0.008 | 21.764 |

Table 2G
 Roof Storage Calculator
 City of Belleville
 100 Years Detention Storage

Required Flood Storage Volume:

Equation of IDF:
 $I = AT^B$

I = Rainfall Intensity (mm/hr)
 T = Time of Concentration (hr)
 A = 43
 B = -0.678

Where:

| | |
|--|-------------------------|
| Composite Runoff Coefficient: R = | 0.90 |
| Site Area, A = | 0.083911 ha |
| Maximum Allowable Discharge Rate $Q_{release}$ = | 0.007 m ³ /s |
| | 7.20 L/s |

| | |
|-------------|-------|
| Max Storage | 14.48 |
|-------------|-------|

| t_c (min) | i_{100} (mm/hr) | Q_{100} (m ³ /s) | Q_{stored} (m ³ /s) | Peak Volume (m ³) |
|----------------|----------------------|----------------------------------|-------------------------------------|----------------------------------|
| 15 | 110.07 | 0.023 | 0.016 | 14.467 |
| 16 | 105.36 | 0.022 | 0.015 | 14.475 MAX |
| 17 | 101.11 | 0.021 | 0.014 | 14.465 |
| 18 | 97.27 | 0.021 | 0.013 | 14.438 |
| 19 | 93.77 | 0.020 | 0.013 | 14.396 |
| 20 | 90.56 | 0.019 | 0.012 | 14.340 |
| 21 | 87.62 | 0.019 | 0.011 | 14.272 |
| 22 | 84.90 | 0.018 | 0.011 | 14.193 |
| 23 | 82.38 | 0.017 | 0.010 | 14.102 |
| 24 | 80.03 | 0.017 | 0.010 | 14.002 |
| 25 | 77.85 | 0.016 | 0.009 | 13.892 |
| 26 | 75.81 | 0.016 | 0.009 | 13.774 |
| 39 | 57.59 | 0.012 | 0.005 | 11.646 |
| 40 | 56.61 | 0.012 | 0.005 | 11.447 |
| 41 | 55.67 | 0.012 | 0.005 | 11.244 |
| 42 | 54.76 | 0.012 | 0.004 | 11.038 |
| 43 | 53.90 | 0.011 | 0.004 | 10.828 |
| 44 | 53.06 | 0.011 | 0.004 | 10.614 |
| 45 | 52.26 | 0.011 | 0.004 | 10.397 |
| 46 | 51.49 | 0.011 | 0.004 | 10.177 |
| 47 | 50.74 | 0.011 | 0.004 | 9.954 |
| 48 | 50.02 | 0.011 | 0.003 | 9.728 |
| 49 | 49.33 | 0.010 | 0.003 | 9.499 |
| 50 | 48.66 | 0.010 | 0.003 | 9.267 |
| 51 | 48.01 | 0.010 | 0.003 | 9.032 |
| 52 | 47.38 | 0.010 | 0.003 | 8.795 |
| 53 | 46.77 | 0.010 | 0.003 | 8.556 |
| 54 | 46.18 | 0.010 | 0.003 | 8.313 |
| 55 | 45.61 | 0.010 | 0.002 | 8.069 |
| 56 | 45.06 | 0.010 | 0.002 | 7.822 |
| 57 | 44.52 | 0.009 | 0.002 | 7.573 |
| 58 | 44.00 | 0.009 | 0.002 | 7.322 |
| 59 | 43.49 | 0.009 | 0.002 | 7.069 |
| 60 | 43.00 | 0.009 | 0.002 | 6.813 |
| 61 | 42.52 | 0.009 | 0.002 | 6.556 |
| 62 | 42.05 | 0.009 | 0.002 | 6.297 |
| 63 | 41.60 | 0.009 | 0.002 | 6.036 |
| 64 | 41.16 | 0.009 | 0.002 | 5.773 |
| 65 | 40.73 | 0.009 | 0.001 | 5.508 |

On-Site Storage Calculator

Project: TRU BY HILTON

City of Belleville

Project No.: n1963

Sub-catchment A1

Date: 20-Jan-20

Table 2G - 100 Years Storage - Orifice # 2

| | | | | | |
|-------------------------|-------------------------|------------------|----------------------------------|--|--|
| | | Equation of IDF: | | | |
| $R =$ | 0.82 | $I = AT^B$ | $I =$ Rainfall Intensity (mm/hr) | | |
| (Subcatchment A1) $A =$ | 0.21 ha | | $T =$ Time of Concentration (hr) | | |
| $Q_{release} =$ | 0.006 m ³ /s | | | $A =$ 43 | |
| | 5.70 L/s | | | $B =$ -0.678 | |
| | | | | Storage Required (m ³) 53.78 | |

| t_c (min) | i_{100} (mm/hr) | Q_{100} (m ³ /s) | Q_{stored} (m ³ /s) | Peak Volume (m ³) |
|----------------|----------------------|----------------------------------|-------------------------------------|----------------------------------|
| 15 | 110.07 | 0.053 | 0.047 | 42.179 |
| 16 | 105.36 | 0.050 | 0.045 | 42.830 |
| 17 | 101.11 | 0.048 | 0.043 | 43.441 |
| 18 | 97.27 | 0.046 | 0.041 | 44.013 |
| 19 | 93.77 | 0.045 | 0.039 | 44.553 |
| 20 | 90.56 | 0.043 | 0.038 | 45.061 |
| 21 | 87.62 | 0.042 | 0.036 | 45.541 |
| 22 | 84.90 | 0.041 | 0.035 | 45.994 |
| 23 | 82.38 | 0.039 | 0.034 | 46.424 |
| 24 | 80.03 | 0.038 | 0.033 | 46.831 *** |



On-Site Available Storage Calculator
City of Belleville

Table 3

n Engineering Inc

| | |
|---------------------|--------------------|
| Project: | TRU BY HILTON |
| Address: | MILLENNIUM PARKWAY |
| Project No.: | n1963 |
| Date: | 20-Jan-20 |

MH/CATCH BASIN

HWL 97.95

| Description | Length (m) | Width (m) | Invert Elevation | Height (m) | Volume (m ³) |
|-------------|------------|-----------|------------------|------------|--------------------------|
| DCB1 | 1.2 | 1.2 | 97.37 | 1.08 | 1.56 |
| CBMH1 | 1.2 | 1.2 | 97.24 | 0.71 | 0.80 |
| CB1 | 0.6 | 0.6 | 97.14 | 0.81 | 0.29 |
| TOTAL | | | | | 2.65 |

PIPES

| FROM MH | TO MH | Length (m) | | DIA (mm) | Volume (m ³) |
|----------|-------|------------|--|----------|--------------------------|
| STM Plug | PIPE | 30 | | 150 | 0.53 |
| DCB1 | CBMH1 | 35.0 | | 300 | 2.46 |
| CB1 | PIPE | 15.0 | | 300 | 1.06 |
| CBMH1 | MH1 | 53.5 | | 300 | 3.76 |
| TOTAL | | | | | 7.81 |

LOT PONDING

| Ponding Location | Top Elevation | Ponding Depth (m) | Ponding Area (m ²) | Ponding Volume (m ³) |
|------------------|---------------|-------------------|--------------------------------|----------------------------------|
| DCB1 | 98.30 | 0.15 | 1050 | 52.5 |
| CBMH1 | 97.88 | 0.07 | 197 | 4.6 |
| CB1 | 97.88 | 0.07 | 120 | 2.8 |
| TOTAL | | | | 59.9 |

Roof Storage

| Location | Area(m ²) | VOL. |
|--------------------------------|-----------------------|-------|
| Hotel Roof | 839.11 | 14.48 |
| TOTAL VOLUME:(m ³) | | 84.83 |

Appendix E
Fire Flow Calculation

TABLE 1: Fire Flow Calculation as per FIRE FLOW CALCULATION as per FIRE UNDERWRITERS SURVEY (1999)

PROJECT: Mellennium Parway Proposed Hotel
City of Belleville

1. Fire Flow Equation

$$F = 220 C \sqrt{A}$$

where F is the required fire flow [LPM]
C is the coefficient determined by type of construction [unitless]
A is the total protection area [sq.m]

2. Architecture Information

| | |
|----------------------------------|----------------|
| Type of Construction | Fire-resistive |
| Fire Rating, Vertical Separation | Inadequate |
| Sprinkler Provided (Y/N) | Yes |
| Total Floor Area [sq.m] | 260 |
| Coefficient, C [1] | 0.8 |
| Fire Flow, F [LPM] | 2838 |
| Fire Flow, F [LPM] | 3000 |

Round to nearest 1000

3. Occupancy Reduction

| | |
|----------------------|------|
| Occupancy Adjustment | 0.85 |
| Fire Flow, F [LPM] | 2550 |

Limited Combustible

4. Sprinkler Reduction

| | |
|---------------------------|------|
| Sprinkler Reduction | 0.30 |
| Sprinkler Reduction [LPM] | 765 |

5. Exposure Adjustment

| | |
|---------------------------|------------|
| North | 0% |
| East | 20% |
| South | 20% |
| West | 0% |
| Total | 40% |
| Exposure Adjustment [LPM] | 1020 |

6. Required Fire Flow, Duration & Volume

| | |
|---------------------------|-------------|
| Fire Flow, F [LPM] | 2550 |
| Sprinkler Reduction [LPM] | 765 |
| Exposure Adjustment [LPM] | 1020 |
| Required Fire Flow [LPM] | 2805 |
| Required Fire Flow [LPM] | 3000 |
| Required Fire Flow [LPS] | 50 |

Round to nearest 1000

Routing

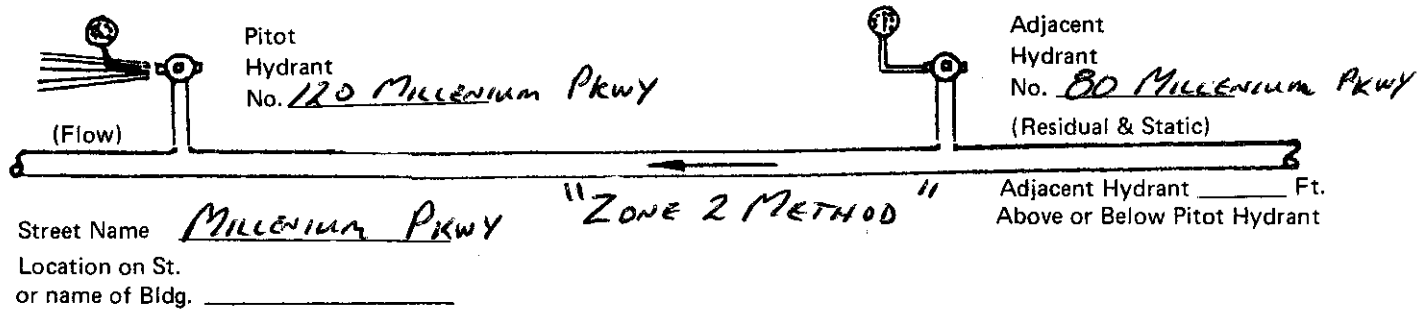
White - 1. Op. Mgr. 2. Draft. 3. FF bk.
 Pink - File 842
 Canary - Originator



Belleville Utilities Commission
 459 SIDNEY STREET
 P.O. BOX 939
 BELLEVILLE, ONT., K8N 5B6
 (613) 966-3651

Date: Nov. 25/19
 Time: 13:30
 Performed by: QP, CTM
 File: 842

FIRE HYDRANT FLOW TEST



Provide Four Pressure Readings:

Select outlets to give 10 psi drop at adjacent hydrant if possible

| | one - 1" | one - 1 1/8" | one - 1 1/2" | one - 2" | two - 2 1/2" | |
|-------------------------------|----------|--------------|--------------|----------|--------------|--------------------|
| Step One - Adjacent Hydrant | _____ | _____ | (13:18) | 72 | 72 | psi (static) |
| Step Two - Pitot Hydrant | _____ | _____ | _____ | 60 | 36 | psi (flow) |
| Step Three - Adjacent Hydrant | _____ | _____ | _____ | 71 | 63 | psi (residual) |
| Step Four - Adjacent Hydrant | _____ | _____ | _____ | 72 | 72 | psi (static check) |

low with 20 psi residual at adjacent hydrant

$$= \text{measured flow} \left(\frac{\text{available drop}}{\text{test drop}} \right)^{.54}$$

Available drop is static less 20
 Test drop is static less residual

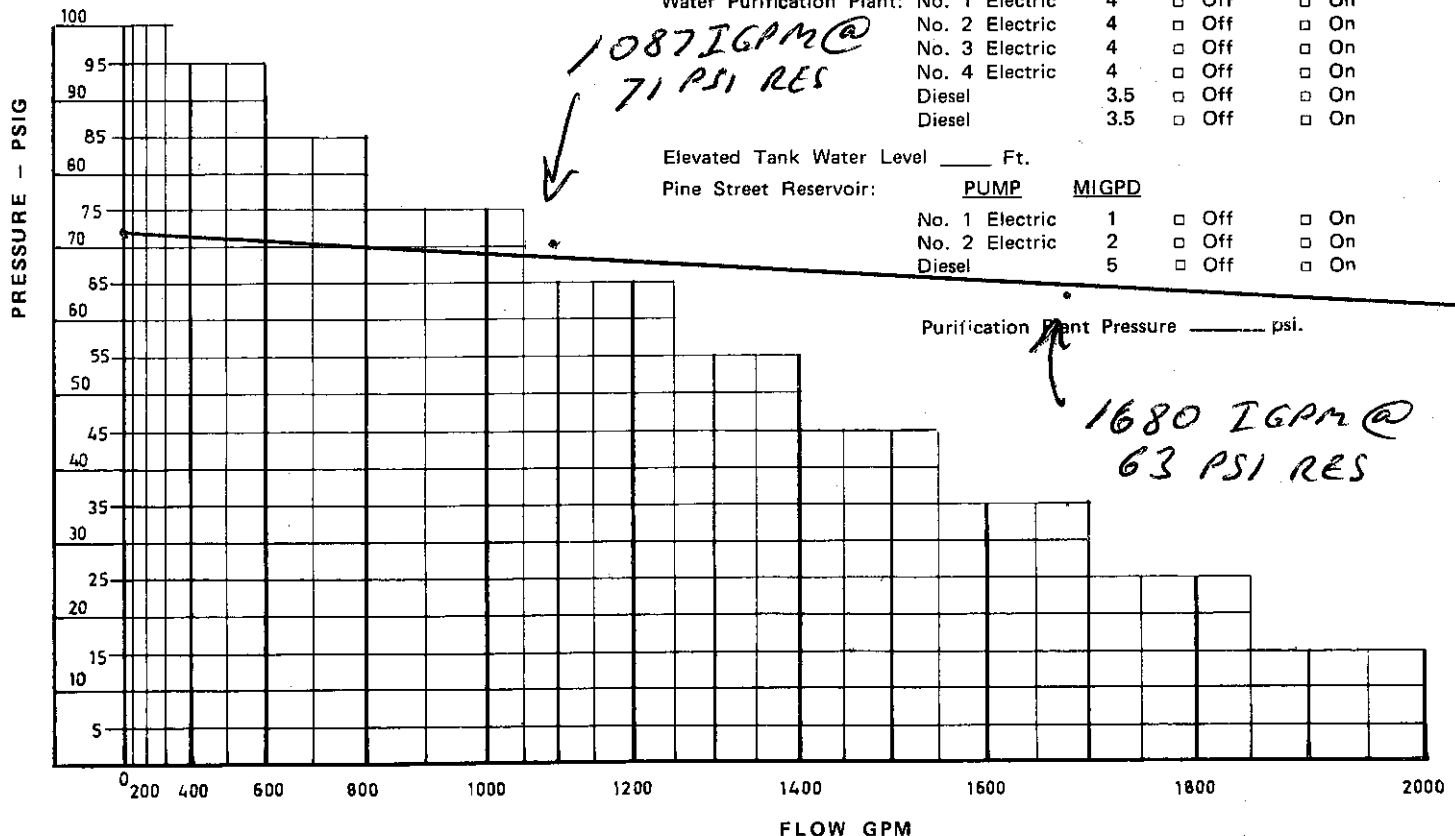
Information below can be obtained at a later date from records at Water Purification Plant.

| | PUMP | MIGPD | | |
|---------------------------|----------------|-------|------------------------------|-----------------------------|
| Water Purification Plant: | No. 1 Electric | 4 | <input type="checkbox"/> Off | <input type="checkbox"/> On |
| | No. 2 Electric | 4 | <input type="checkbox"/> Off | <input type="checkbox"/> On |
| | No. 3 Electric | 4 | <input type="checkbox"/> Off | <input type="checkbox"/> On |
| | No. 4 Electric | 4 | <input type="checkbox"/> Off | <input type="checkbox"/> On |
| | Diesel | 3.5 | <input type="checkbox"/> Off | <input type="checkbox"/> On |
| | Diesel | 3.5 | <input type="checkbox"/> Off | <input type="checkbox"/> On |

Elevated Tank Water Level _____ Ft.

| | PUMP | MIGPD | | |
|------------------------|----------------|-------|------------------------------|-----------------------------|
| Pine Street Reservoir: | No. 1 Electric | 1 | <input type="checkbox"/> Off | <input type="checkbox"/> On |
| | No. 2 Electric | 2 | <input type="checkbox"/> Off | <input type="checkbox"/> On |
| | Diesel | 5 | <input type="checkbox"/> Off | <input type="checkbox"/> On |

Purification Plant Pressure _____ psi.

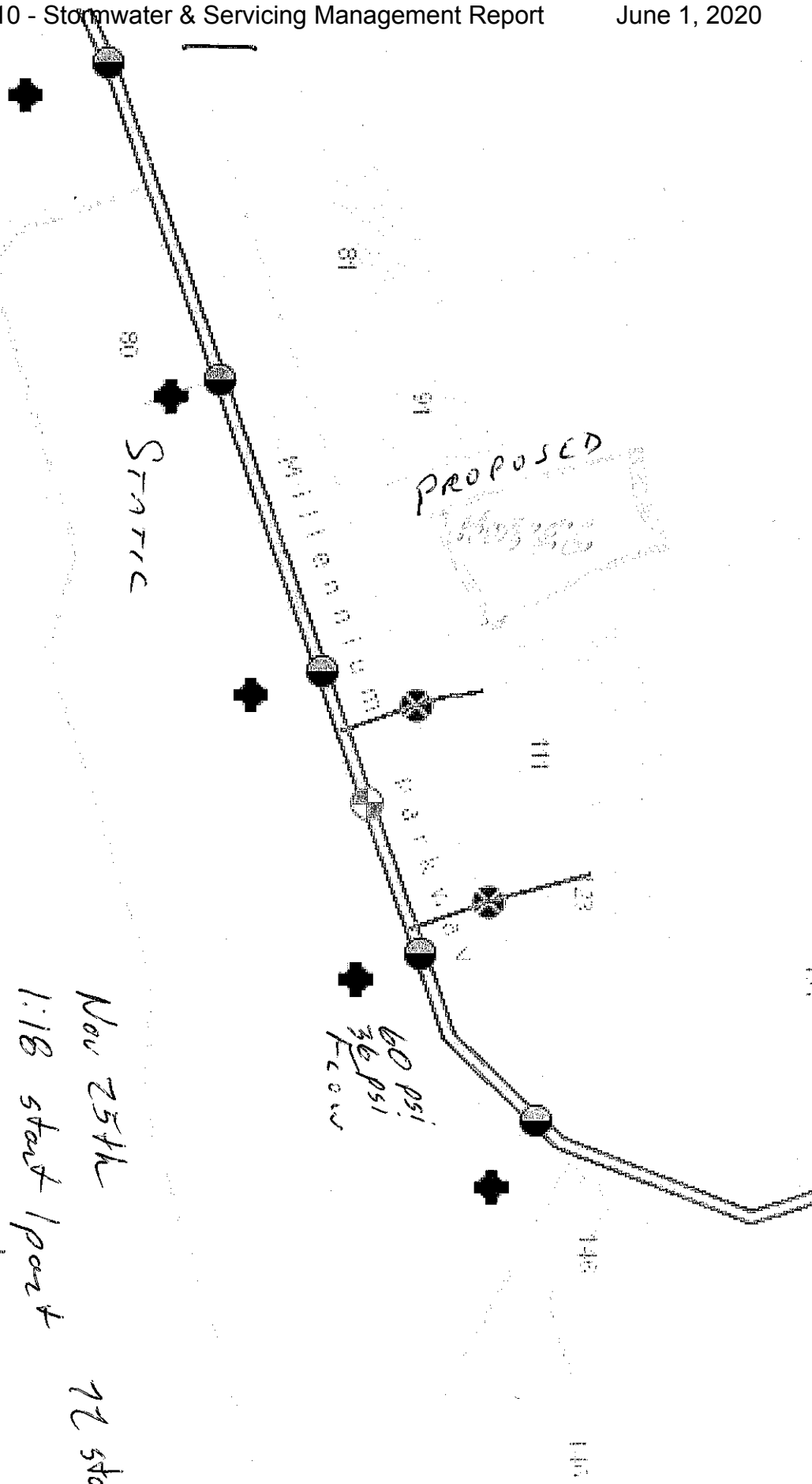


FLOW TEST PLEASE, THIS AFTERNOON.

Nov 25th

| | | | | |
|------|-------|--------|----|--------|
| 1:18 | start | 1 post | 72 | static |
| 1:24 | 60 | 1 post | 71 | 1 post |
| 1:27 | 36 | 2 post | 63 | 2 post |
| 1:28 | off | | 72 | static |

RP CTM



Appendix F Roof Drain



Selecta-Drain Chart

| LOCATION | SQUARE METRE (SQUARE FOOT) | ROOF LOAD FACTOR KGS. (LBS.) | TOTAL ROOF SLOPE | | | | | | | | | | | |
|-----------------------|----------------------------|------------------------------|---------------------------|---------------------|----------------------|---------------------------|---------------------|----------------------|---------------------------|---------------------|----------------------|---------------------------|---------------------|----------------------|
| | | | DEAD LEVEL | | | 51mm (2") RISE | | | 102mm (4") RISE | | | 152mm (6") RISE | | |
| | | | L.P.M. (G.P.M.) Discharge | Draindown Time Hrs. | mm (in.) Water Depth | L.P.M. (G.P.M.) Discharge | Draindown Time Hrs. | mm (in.) Water Depth | L.P.M. (G.P.M.) Discharge | Draindown Time Hrs. | mm (in.) Water Depth | L.P.M. (G.P.M.) Discharge | Draindown Time Hrs. | mm (in.) Water Depth |
| Sydney, Nova Scotia | 232 (2,500) | 4.3 (9.4) | 41 (9) | 6.5 | 45.5 (1.8) | 45.5 (10) | 5 | 51 (2.0) | 57 (12.5) | 3.5 | 6.5 (2.5) | 68 (15) | 2.5 | 76 (3) |
| | 465 (5,000) | 5.7 (12.5) | 54.5 (12) | 16 | 61 (2.4) | 59 (13) | 13 | 66 (2.6) | 75 (16.5) | 8 | 84 (3.3) | 84 (18.5) | 6.5 | 94 (3.7) |
| | 697 (7,500) | 6.4 (14) | 61.5 (13.5) | 28 | 68.5 (2.7) | 68 (15) | 22 | 76 (3) | 84 (18.5) | 14 | 94 (3.7) | 97.5 (21.5) | 11 | 109 (4.3) |
| | 929 (10,000) | 7.1 (15.6) | 68 (15) | 38 | 76 (3) | 75 (16.5) | 30 | 84 (3.3) | 91 (20) | 20 | 101.5 (4) | 104.5 (23) | 16 | 117 (4.6) |
| Yarmouth, Nova Scotia | 232 (2,500) | 6.4 (14) | 61.5 (13.5) | 9 | 68.5 (2.7) | 70.5 (15.5) | 7.5 | 78.5 (3.1) | 82 (18) | 4.5 | 91.5 (3.6) | 91 (20) | 3.5 | 101.5 (4) |
| | 465 (5,000) | 8.3 (18.2) | 79.5 (17.5) | 21 | 89 (3.5) | 88.5 (19.5) | 18 | 99 (3.9) | 104.5 (23) | 12 | 117 (4.6) | 116 (25.5) | 9 | 129.5 (5.1) |
| | 697 (7,500) | 9.4 (20.8) | 91 (20) | 34 | 101.5 (4) | 102.5 (22.5) | 29 | 114.5 (4.5) | 118 (26) | 21 | 132 (5.2) | 132 (29) | 15 | 147.5 (5.8) |
| | 929 (10,000) | 10.4 (22.9) | 100 (22) | 45 | 112 (4.4) | 109 (24) | 41 | 122 (4.8) | 129.5 (28.5) | 29 | 145 (5.7) | 141 (31) | 22 | 157.5 (6.2) |
| Thunder Bay, Ontario | 232 (2,500) | 4.9 (10.9) | 47.5 (10.5) | 7.5 | 53.5 (2.1) | 61.5 (13.5) | 6.5 | 68.5 (2.7) | 75 (16.5) | 4 | 84 (3.3) | 88.5 (19.5) | 3.5 | 91.5 (3.6) |
| | 465 (5,000) | 6.1 (13.5) | 59 (13) | 18 | 66 (2.6) | 72.5 (16) | 15 | 81.5 (3.2) | 86.5 (19) | 9.5 | 96.5 (3.8) | 102.5 (22.5) | 7.5 | 114.5 (4.5) |
| | 697 (7,500) | 6.6 (14.6) | 63.5 (14) | 28 | 71 (2.8) | 77.5 (17) | 24 | 86.5 (3.4) | 93 (20.5) | 16 | 104 (4.1) | 109 (24) | 13 | 122 (4.8) |
| | 929 (10,000) | 7.1 (15.6) | 68 (15) | 38 | 76 (3) | 84 (18.5) | 33 | 94 (3.7) | 97.5 (21.5) | 22 | 109 (4.3) | 116 (25.5) | 18 | 129.5 (5.1) |
| Guelph, Ontario | 232 (2,500) | 5.7 (12.5) | 54.5 (12) | 8 | 61 (2.4) | 63.5 (14) | 7 | 71 (2.8) | 86.5 (19) | 5 | 96.5 (3.8) | 100 (22) | 3.7 | 112 (4.4) |
| | 465 (5,000) | 6.6 (14.6) | 63.5 (14) | 19 | 71 (2.8) | 75 (16.5) | 15.5 | 84 (3.3) | 97.5 (21.5) | 11 | 109 (4.3) | 116 (25.5) | 9 | 129.5 (5.1) |
| | 697 (7,500) | 7.3 (16.1) | 70.5 (15.5) | 29 | 78.5 (3.1) | 82 (18) | 25 | 91.5 (3.6) | 104.5 (23) | 18 | 117 (4.6) | 125 (27.5) | 14 | 139.5 (5.5) |
| | 929 (10,000) | 8.0 (17.7) | 77.5 (17) | 40 | 86.5 (3.4) | 84 (18.5) | 34 | 94 (3.7) | 109 (24) | 26 | 122 (4.8) | 132 (29) | 20 | 147.5 (5.8) |
| Hamilton, Ontario | 232 (2,500) | 5.9 (13) | 57 (12.5) | 8.5 | 63.5 (2.5) | 72.5 (16) | 7.5 | 81.5 (3.2) | 93 (20.5) | 5 | 104 (4.1) | 109 (24) | 4 | 122 (4.8) |
| | 465 (5,000) | 6.6 (14.6) | 63.5 (14) | 19 | 71 (2.8) | 79.5 (17.5) | 16 | 89 (3.5) | 104.5 (23) | 12 | 117 (4.6) | 122.5 (27) | 9 | 137 (5.4) |
| | 697 (7,500) | 6.8 (15.1) | 66 (14.5) | 28 | 73.5 (2.9) | 84 (18.5) | 26 | 94 (3.7) | 111.5 (24.5) | 20 | 124.5 (4.9) | 127.5 (28) | 15 | 142 (5.6) |
| | 929 (10,000) | 7.1 (15.6) | 68 (15) | 39 | 76 (3) | 86.5 (19) | 34 | 96.5 (3.8) | 116 (25.5) | 27 | 129.5 (5.1) | 134 (29.5) | 21 | 150 (5.9) |
| Kingston, Ontario | 232 (2,500) | 6.4 (14) | 61.5 (13.5) | 9 | 68.5 (2.7) | 77.5 (17) | 8 | 86.5 (3.4) | 91 (20) | 5 | 101.5 (4) | 109 (24) | 4 | 122 (4.8) |
| | 465 (5,000) | 7.5 (16.6) | 72.5 (16) | 20 | 81.5 (3.2) | 86.5 (19) | 18 | 96.5 (3.8) | 104.5 (23) | 12 | 117 (4.6) | 122.5 (27) | 9.5 | 137 (5.4) |
| | 697 (7,500) | 8.5 (18.7) | 82 (18) | 31 | 91.5 (3.6) | 93 (20.5) | 28 | 104 (4.1) | 111.5 (24.5) | 20 | 124.5 (4.9) | 132 (29) | 15 | 147.5 (5.8) |
| | 929 (10,000) | 8.7 (19.2) | 86.5 (19) | 42 | 96.5 (3.8) | 97.5 (21.5) | 38 | 109 (4.3) | 116 (25.5) | 27 | 129.5 (5.1) | 68 (15) | 21 | 152.5 (6) |
| London, Ontario | 232 (2,500) | 6.1 (13.5) | 59 (13) | 8.5 | 66 (2.6) | 72.5 (16) | 7.5 | 81.5 (3.2) | 88.5 (19.5) | 5 | 99 (3.9) | 107 (23.5) | 4 | 119.5 (4.7) |
| | 465 (5,000) | 7.1 (15.6) | 68 (15) | 20 | 76 (3) | 84 (18.5) | 17 | 94 (3.7) | 102.5 (22.5) | 12 | 114.5 (4.5) | 122.5 (27) | 9.5 | 137 (5.4) |
| | 697 (7,500) | 8.0 (17.7) | 77.5 (17) | 30 | 86.5 (3.4) | 88.5 (19.5) | 27 | 99 (3.9) | 109 (24) | 19 | 122 (4.8) | 129.5 (28.5) | 15 | 145 (5.7) |
| | 929 (10,000) | 8.5 (18.7) | 82 (18) | 41 | 91.5 (3.6) | 91 (20) | 36 | 101.5 (4) | 113.5 (25) | 27 | 127 (5) | 134 (29.5) | 21 | 150 (5.9) |
| North Bay, Ontario | 232 (2,500) | 5.7 (12.5) | 54.5 (12) | 8 | 61 (2.4) | 68 (15) | 7 | 76 (3) | 86.5 (19) | 5 | 96.5 (3.8) | 100 (22) | 3.8 | 112 (4.4) |
| | 465 (5,000) | 6.6 (14.6) | 63.5 (14) | 19 | 71 (2.8) | 79.5 (17.5) | 16 | 89 (3.5) | 97.5 (21.5) | 11 | 109 (4.3) | 113.5 (25) | 9 | 127 (5) |
| | 697 (7,500) | 7.5 (16.6) | 72.5 (16) | 30 | 81.5 (3.2) | 86.5 (19) | 26 | 96.5 (3.8) | 107 (23.5) | 19 | 119.5 (4.7) | 122.5 (27) | 14 | 137 (5.4) |
| | 929 (10,000) | 8.3 (18.2) | 77.5 (17) | 40 | 86.5 (3.4) | 93 (20.5) | 36 | 104 (4.1) | 111.5 (24.5) | 26 | 124.5 (4.9) | 127.5 (28) | 20 | 142 (5.6) |



Z-105

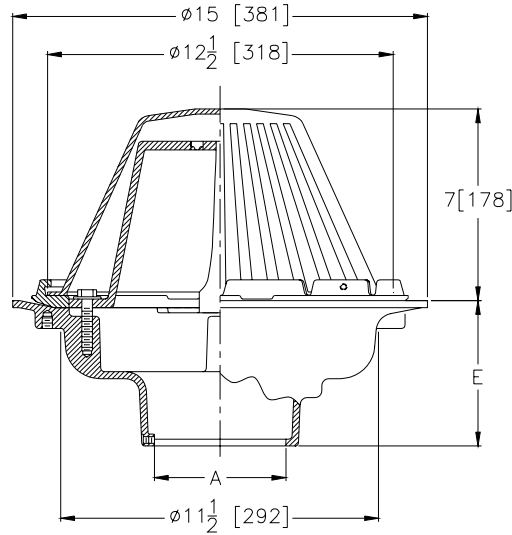
SPECIFICATION SHEET

**CONTROL-FLOOR DRAIN
w/ Parabolic Weir**

TAG _____



Dimensional Data (inches and [mm]) are Subject to Manufacturing Tolerances and Change Without Notice



| A Pipe Size Inches / [mm] | Approx. Wt. Lbs. / [kg] | Dome Open Area Sq. In. / [sq cm] |
|---------------------------------|-------------------------------|--|
| 2 - 3 - 4 [51 - 76 - 102] | 34 [15] | 148 [955] |

ENGINEERING SPECIFICATION: ZURN Z-105 "Control-Flo" roof drain for dead-level roof construction, Dura-Coated cast iron body. "Control-Flo" weir shall be linear functioning with integral membrane flashing clamp/gravel guard and Poly-Dome. All data shall be verified proportional to flow rates.

OPTIONS (Check/specify appropriate options)

PIPE SIZE

- 2,3,4 [50,75,100]
- 2,3,4 [50,75,100]
- 2,3,4 [50,75,100]
- 2,3,4 [50,75,100]

(Specify size/type) **OUTLET**

- _____ IC Inside Caulk
- _____ IP Threaded
- _____ NH No-Hub
- _____ NL Neo-Loc

E BODY HT. DIM.

- 5 1/4 [133]
- 3 3/4 [95]
- 5 1/4 [133]
- 4 5/8 [117]

PREFIXES

- _____ Z- D.C.C.I. Body with Poly-Dome*
- _____ ZA- D.C.C.I. Body with Aluminum Dome

SUFFIXES

- _____ -A Waterproof Flange
- _____ -AR Acid Resistant Epoxy Coated Finish
- _____ -C Underdeck Clamp
- _____ -DP Top Set® Roof Deck Plate (Replaces both the -C and -R)
- _____ -DR Adjustable Drain Riser Extension Assembly 3-5/8" [92] to 7-1/4" [184]
- _____ -E Static Extension 1 [25] thru 4 [102] (Specify Ht.)
- _____ -EA Adjustable Extension Assembly 1 3/4 [44] thru 3 1/2 [89]
- _____ -EB Elevating Body Plate
- _____ -G Galvanized Cast Iron
- _____ -R Roof Sump Receiver
- _____ -VP Vandal Proof Secured Top
- _____ -90 90° Threaded Side Outlet Body

| | | |
|-----------------------|--------------------------|-----------------------|
| REV. A | DATE: 09/14/05 | C.N. NO. 89837 |
| DWG. NO. 63601 | PRODUCT NO. Z-105 | |

*REGULARLY FURNISHED UNLESS OTHERWISE SPECIFIED

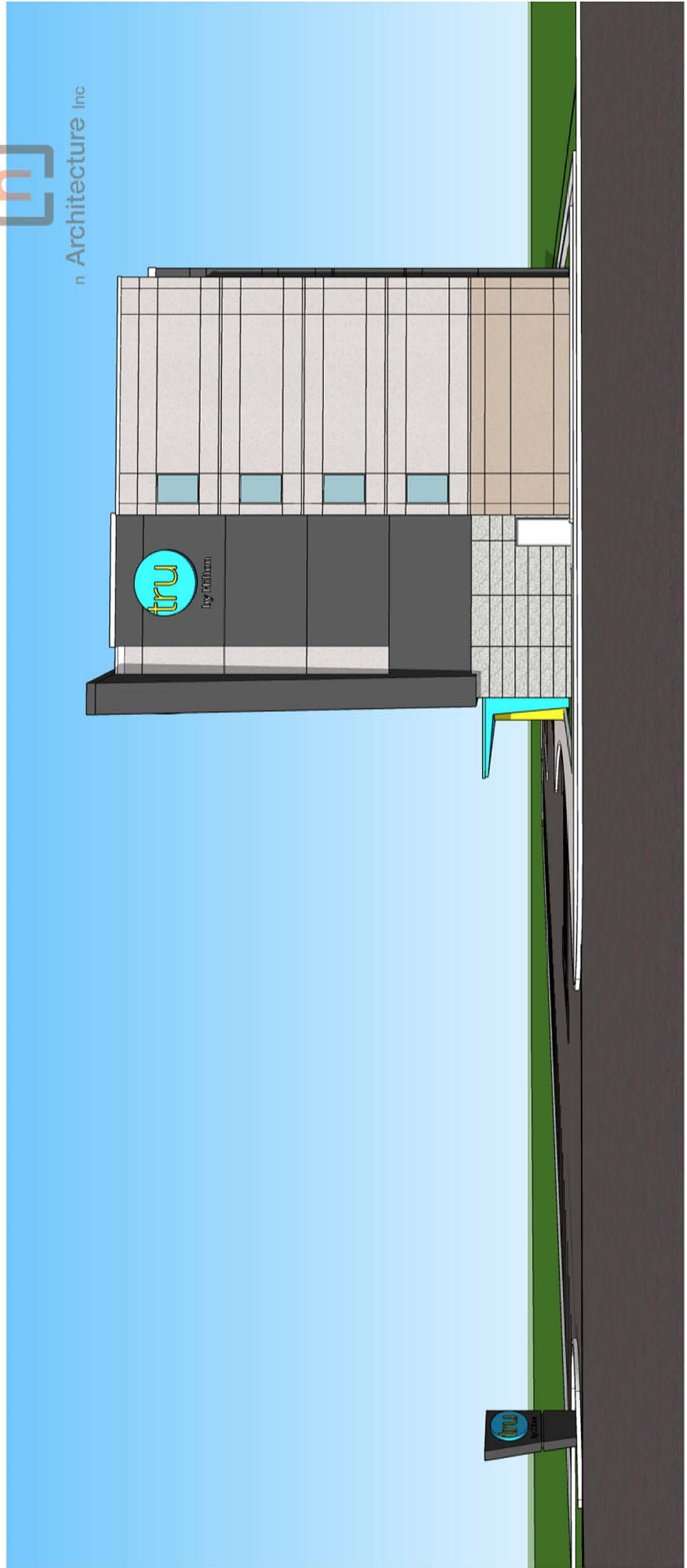
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 Architecture Inc

PROPOSED HOTEL
MILLENNIUM PARKWAY BELLEVILLE ON.
 06th FEBRUARY 2020

Perspective View



 n Architecture Inc

 n Architecture Inc

PROPOSED HOTEL
MILLENNIUM PARKWAY BELLEVILLE ON.
06th FEBRUARY 2020

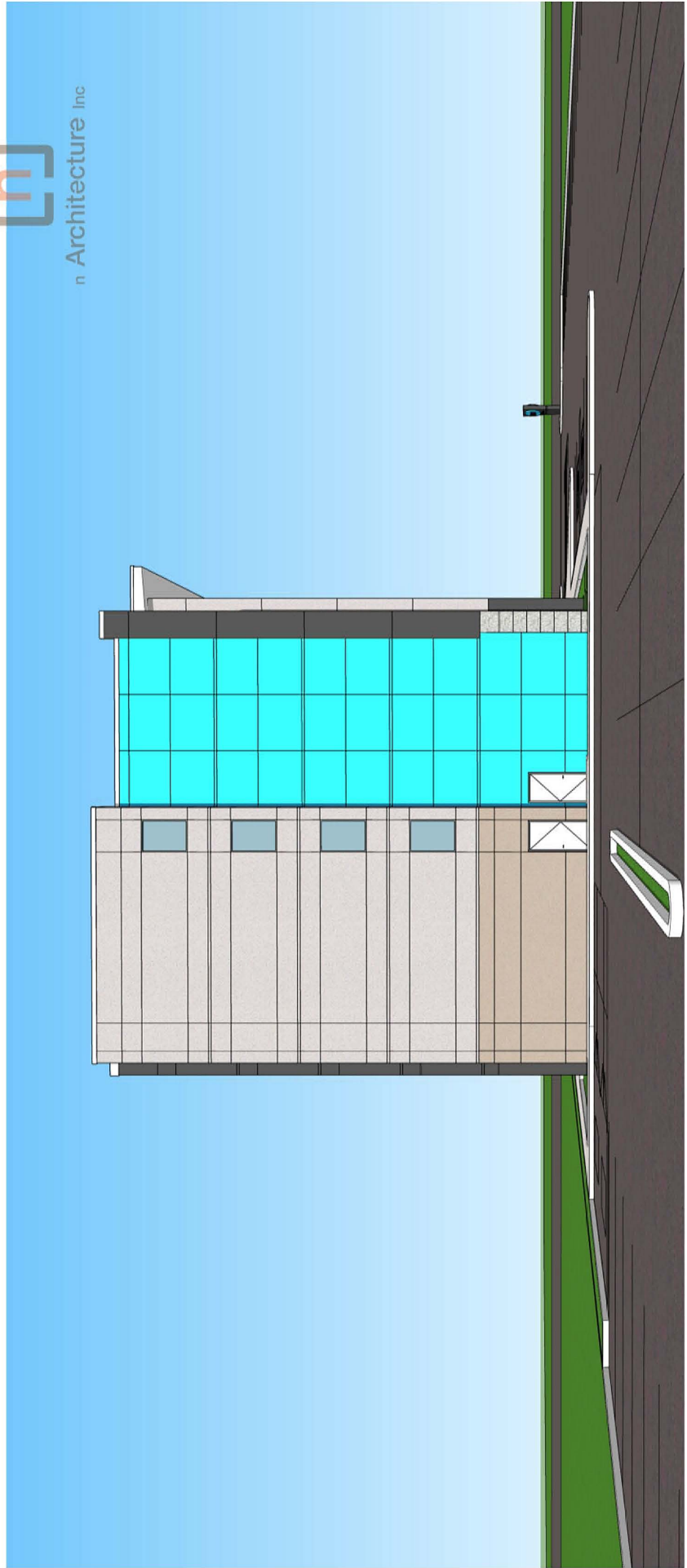
Perspective View



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Architecture Inc

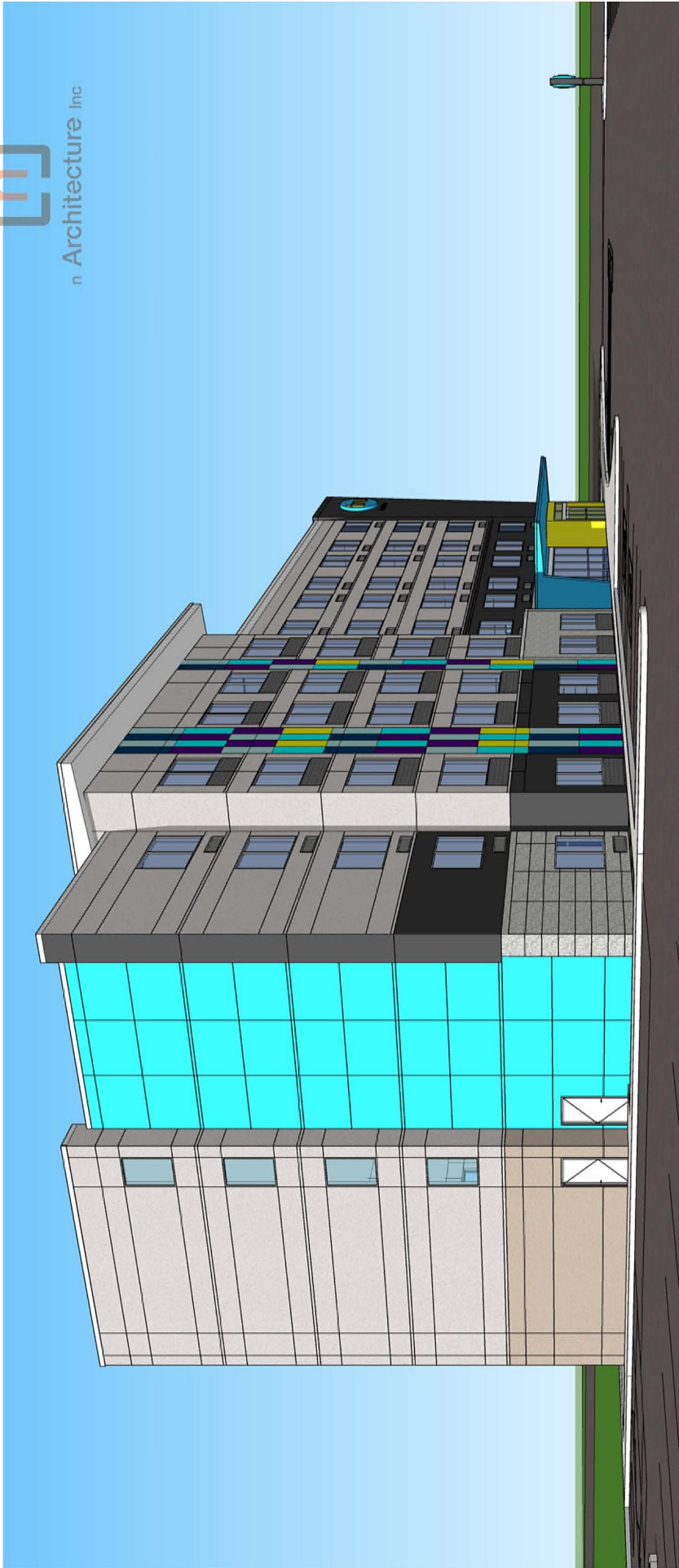
PROPOSED HOTEL
MILLENNIUM PARKWAY BELLEVILLE ON.
06th FEBRUARY 2020

Perspective View



PROPOSED HOTEL
MILLENNIUM PARKWAY BELLEVILLE ON.
06th FEBRUARY 2020

Perspective View



n Architecture Inc



n Architecture Inc

PROPOSED HOTEL
MILLENNIUM PARKWAY BELLEVILLE ON.
06th FEBRUARY 2020

Perspective View



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Architecture Inc

PROPOSED HOTEL
MILLENNIUM PARKWAY BELLEVILLE ON.
06th FEBRUARY 2020

Perspective View



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 Architecture Inc

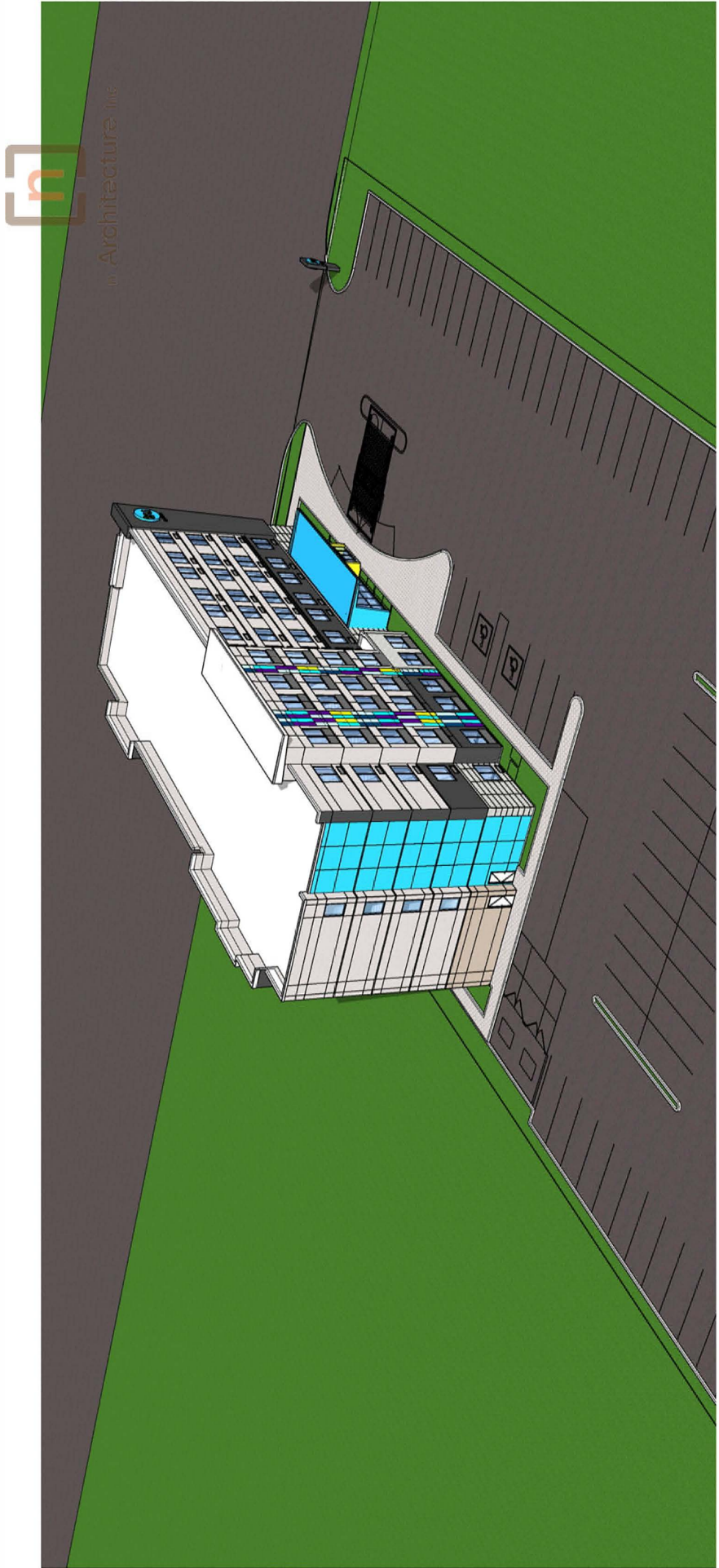
PROPOSED HOTEL
MILLENNIUM PARKWAY BELLEVILLE ON.
 06th FEBRUARY 2020

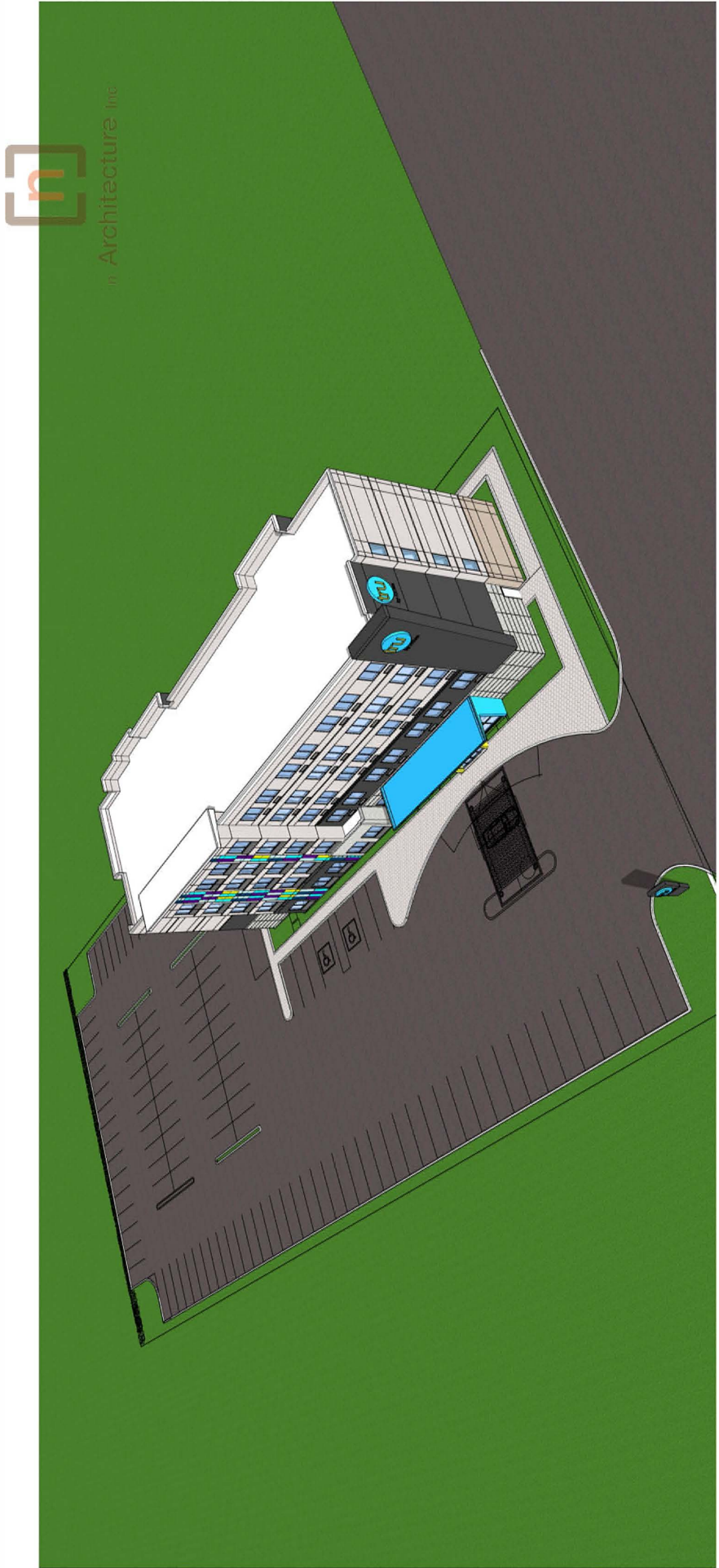
Perspective View



PROPOSED HOTEL
MILLENNIUM PARKWAY BELLEVILLE ON.
06th FEBRUARY 2020

Perspective View



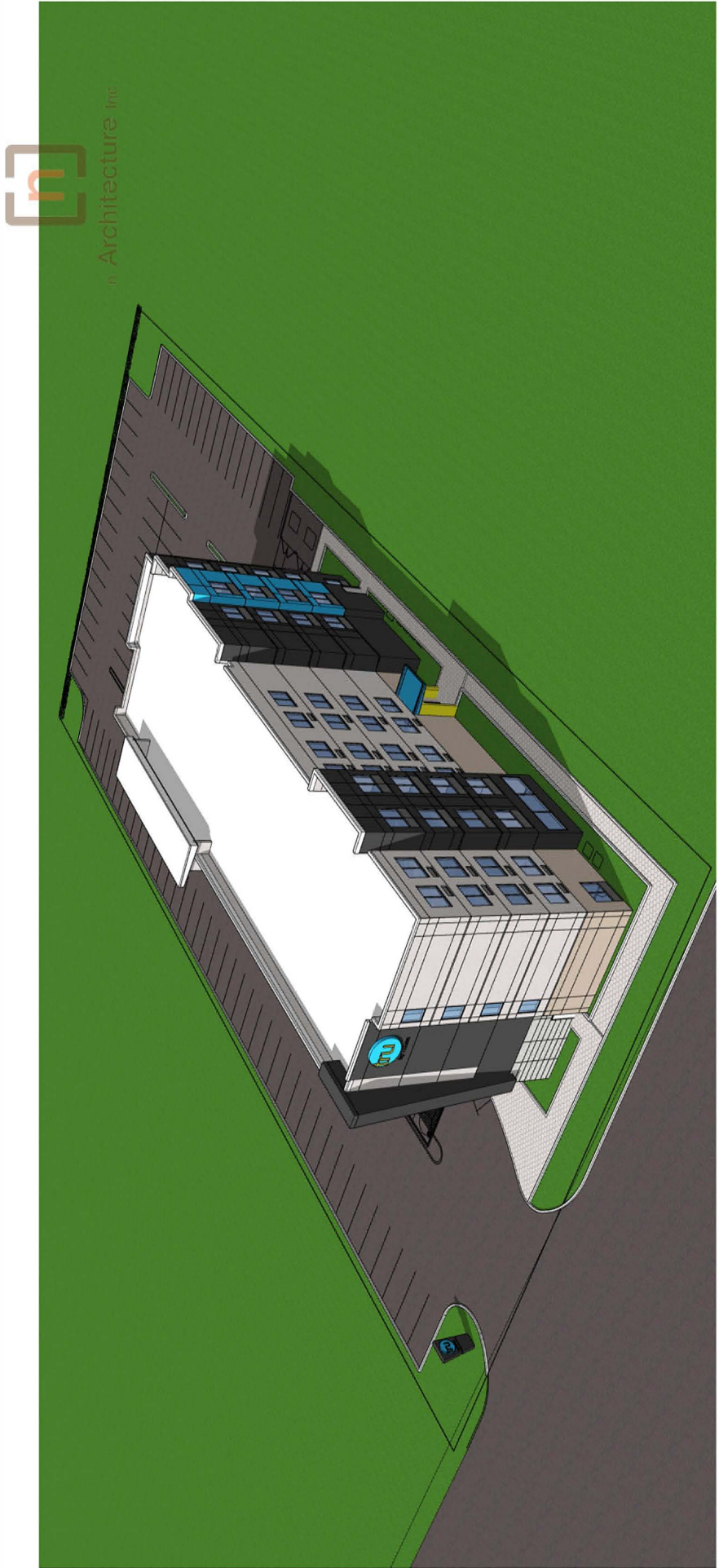


 n Architecture inc

 n Architecture inc

PROPOSED HOTEL
MILLENNIUM PARKWAY BELLEVILLE ON.
 06th FEBRUARY 2020

Perspective View



[n]
 Architecture Inc

**PROPOSED HOTEL
 MILLENNIUM PARKWAY BELLEVILLE ON.
 06th FEBRUARY 2020**

Perspective View





SITE OF PROPOSED NEW HOTEL
MILLENNIUM PARKWAY, BELLEVILLE



| | |
|-----------------------|--------------------|
| APPROVAL BLOCK | |
| DE & DS | <u>SA</u> |
| MPP | <u>Shawn Milne</u> |

CITY OF BELLEVILLE
Andrew Chan, Policy Planner
Engineering and Development Services Department
Report No. PP-2020-19
June 1, 2020

To: Belleville Planning Advisory Committee

Subject: Notice of Complete Application and Introductory Public Meeting for Application for Proposed Amendment to Zoning By-Law Number 3014, As Amended
464 Mitchell Road, City of Belleville
OWNER/ APPLICANT: Shawn Milne

File: B-77-1106

Recommendation:

"That Report No. PP-2020-19 dated June 1, 2020 regarding Notice of Complete Application and Introductory Public Meeting for Application for Proposed Amendment to Zoning By-Law Number 3014, As Amended – 464 Mitchell Road, City of Belleville, County of Hastings be received as information, and;

That Staff report back at such time as input from the public, commenting agencies, and municipal departments has been received, assessed, and addressed to the satisfaction of the Engineering and Development Services Department."

Background:

An application for 464 Mitchell Road was received by the City of Belleville on February 14, 2020. The subject land is identified on the attached Location and Existing Zoning Map (Attachment #1).

The initial public meeting is held in accordance with the requirements of the Planning Act. The purpose of this meeting is for Committee Members to formally hear and receive public comments. The intent of this statutory public planning meeting is to receive public feedback and incorporate it into a recommendation report from Staff.

The property is currently zoned Prime Agriculture (PA) Zone and Hazard (H) Zone. The Applicant is proposing to rezone the subject land to Prime Agriculture (PA) Zone with special provisions to include brewery and

distillery as a permitted accessory use and Hazard (H) Zone. The proposed zoning is shown on the Proposed Zoning Map (Attachment #2).

Site details for the subject land:

| Site Review | Description |
|---|--|
| Site Location | The subject land is municipally known as 464 Mitchell Road which is located on the southeast corner of Mitchell Road and Airport Parkway |
| Site Size | ~38.5 ha |
| Present Use | Residential dwelling and farm |
| Proposed Use | Residential dwelling and farm, with accessory brewery and distillery |
| Belleville Official Plan Designation | Agriculture and Environmental Protection |
| Present Zone Category | Prime Agriculture (PA) Zone and Hazard (H) Zone |
| Proposed Zone Category | Prime Agriculture (PA) Zone with special provisions to add brewery and distillery as a permitted accessory use and Hazard (H) Zone |
| Land uses to the north | Farm, Residential and CN Rail |
| Land uses to the east | Farm |
| Land uses to the south | Farm and Residential |
| Land uses to the west | Farm |

In support of the application, the following was submitted:

- A Sketch of the Property (Attachment #4).

This document is available online for public review at www.belleville.ca/DevelopmentApplications.

Proposal

The property is currently zoned Prime Agriculture (PA) Zone and Hazard (H) Zone. The Applicant is proposing to rezone the subject land to Prime Agriculture (PA) Zone with special provisions to include brewery and distillery as a permitted accessory use and Hazard (H) Zone, to establish a brewery and distillery in a portion of an existing barn on the property. The proposed zoning is shown on the Proposed Zoning Map (Attachment #2).

Provincial Policy Statement

Municipalities are required to ensure all decisions related to land use planning matters shall be consistent with the Provincial Policy Statement.

Planning Staff will consider the following policies in the PPS:

- 1.1.1 Healthy, livable and safe communities are sustained by:
- a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;
 - e) promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;

- 2.3.1 Prime agricultural areas shall be protected for long-term use for agriculture.

Prime agricultural areas are areas where prime agricultural lands predominate. Specialty crop areas shall be given the highest priority for protection, followed by Canada Land Inventory Class 1, 2, and 3 lands, and any associated Class 4 through 7 lands within the prime agricultural area, in this order of priority.

- 2.3.3.1 In prime agricultural areas, permitted uses and activities are: agricultural uses, agriculture-related uses and on-farm diversified uses.

Proposed agriculture-related uses and on-farm diversified uses shall be compatible with, and shall not hinder, surrounding agricultural operations. Criteria for these uses may be based on guidelines developed by the Province or municipal approaches, as set out in municipal planning documents, which achieve the same objectives.

- 2.3.3.2 In prime agricultural areas, all types, sizes and intensities of agricultural uses and normal farm practices shall be promoted and protected in accordance with provincial standards.

Official Plan

The current Official Plan was adopted by City Council on June 18, 2001 and approved by the Ministry of Municipal Affairs and Housing on January 7, 2002. Since 2002, a significant number of new and updated policies and legislation have occurred at the provincial level. The City is currently undertaking a Municipal Comprehensive Review and update to the policies of the Official Plan to ensure they comply with current provincial policies and legislation. The City will have to comply with the province's new legislation, regulations, and policies when updating the Official Plan.

The land is designated "Agriculture" and "Environmental Protection" in the

City's Official Plan (Attachment #3 – Official Plan Designation Map). Planning Staff use the policies within the Official Plan to make recommendations.

The following policies regarding the Agriculture Land Use will be considered:

- The Agricultural land use designation permits many forms of agricultural activity including the raising and/or growing of crops, animals and fish, poultry, nurseries, market gardens, livestock operations, uses that produce value added agricultural products from the farm operation on the property (i.e. maple syrup production, pick your own operations, and seasonal roadside produce stands); kennels and woodlots are also permitted uses. Agricultural-related tourist commercial (agri-tourism) uses are permitted also. Farm-related residential uses on separate lots are permitted; dwellings accessory to agricultural operation (for the farm owner and family) should be permitted on a farm along with any accommodation facilities required for essential farm employees, but nothing in this policy should be construed as encouraging or allowing for the subsequent severance of any such accessory dwellings. Residential infilling may be permitted as outlined in Section 7.2.3 d) of this Plan.
- Also permitted are farm-related commercial and farm-related industrial uses that are small in scale and directly related to the farming operation and required to be in close proximity to the farming operation such as a feed mill, seed cleaning facility, agricultural produce warehouses, abattoirs, or other similar agri-business.
- Agri-tourism may be permitted on active farms provided the use:
 - will not result in the loss of agricultural land;
 - will be compatible with agricultural operations on the subject and adjoining lands; and
 - can be accommodated on private services.Such uses may include accommodations (such as bed and breakfasts) in an existing farm dwelling, retail farm produce outlets, and special events related to the business of agriculture of a temporary nature.

Additionally, the Official Plan defines the Environmental Protection Land Use designation as lands requiring special care and regulation due to their inherent natural or physical characteristics. Development is generally discouraged on and in close proximity to natural hazards or heritage features under this designation.

Zoning By-Law

The property is currently zoned Prime Agriculture (PA) Zone and Hazard (H) Zone. The following uses are currently permitted on the Prime Agriculture (PA) Zone:

| Prime Agriculture (PA) Zone Permitted Uses | |
|--|-------------------------|
| Residential Uses: | Non-Residential Uses: |
| • Single Family Dwelling | • Farm |
| • Group Home | • Conservation Uses |
| • Home Occupation | • Farm Produce Outlet |
| • Converted Dwelling | • Wayside Pit or Quarry |

The Applicant is proposing to convert a portion of an existing barn located in the Prime Agriculture (PA) Zone for use as a brewery and distillery as shown in Attachment #4. The Prime Agriculture (PA) Zone does not list brewery and distillery as a permitted use, or as a permitted accessory use.

To permit the proposed brewery and distillery, the Applicant is requesting to rezone the subject land to Prime Agriculture (PA) Zone with special provisions to permit a brewery and distillery as an accessory use and Hazard (H) Zone.

Public Comments

On March 13, 2020, a written notice and location map was mailed by first class mail to all registered owners of land within 120 metres of the subject property. The notice provided information that a public meeting was scheduled for April 6, 2020.

Similarly, a sign was placed on the subject land notifying the general public that a public meeting was scheduled for April 6, 2020.

Due to circumstances surrounding COVID-19, the Public Meeting scheduled for April 6, 2020 was cancelled, and a Notice of cancellation was issued.

On May 11, 2020, a new written notice and location map was mailed by first class mail to all registered owners of land within 120 metres of the subject property. The notice provided information that a public meeting was scheduled for June 1, 2020.

A new sign was placed on the subject land notifying the general public that a public meeting was scheduled for June 1, 2020.

At the time of writing this report, two members of the public has contacted the Planning Division to inquire about the proposal. One member provided correspondence on March 19, 2020 indicating that they have no objections and are interested in the application's outcome.

Another member of the public provided correspondence on May 12, 2020 and May 13, 2020 questioning the nature and extent of the proposed use, and expressing environmental concerns, including water consumption, wastewater, solid waste and by-products, energy and air emissions. Their written submissions have been included in this report (Attachment #5).

At the time of writing this report, no other correspondence from the public has been received by the City regarding this application.

Staff and Agency Comments

External Agency Circulation

The subject application was circulated for comment to the Algonquin & Lakeshore Catholic School Board, the Hastings & Prince Edward District School Board, Hastings and Prince Edward Health Unit, Bell Canada, Canada Post, Ontario Power Generation, Union Gas, Elexicon Energy, Hydro One, TransCanada Pipeline, Enbridge Pipelines, Trans-Northern Pipelines, MPAC, the Health Unit, the Canadian National Rail, and Quinte Conservation.

Quinte Conservation has provided correspondence stating that that they have no objections to the application.

At the time of writing this report, no other comments or concerns have been received regarding this application.

Internal Department Circulation

The subject application was circulated for comment to the Belleville Fire Department, Belleville Police Service, the General Manager of Transportation & Operations Department, General Manager of Environmental Services, the Director of Recreation, Culture and Community Services, the Manager of Parks & Open Spaces, the Chief Administrative Officer, the Manager of Economic & Strategic Initiatives, the City Clerk, the Chief Building Official, the Manager of Approvals, and the Accessibility Co-ordinator.

Belleville Parks & Open Spaces, Fire Department, and Recreation, Culture and Community Services have provided correspondence that they have no objections to the application.

At the time of writing this report, no other comments or concerns have been received regarding this application.

Considerations:

Public

Circulation to the public complies with the requirements of the Planning Act, R.S.O. 1990.

Financial

The fees of the application have been received by the City.
Impact on and input from other Departments/Sources

Circulation of this application to other departments/agencies has occurred.

Strategic Plan Alignment

The City of Belleville's Strategic Plan identifies nine strategic themes. This application aligns with the City's nine strategic themes and the City's mission statement.

Conclusion:

Comments received at this public meeting, as well as subsequent written comments will be considered by the Engineering and Development Services Department in analysis of the application received to amend the City of Belleville Zoning By-Law 3014. A recommendation report will be brought forward upon receipt of all agency and public comments.

Respectfully submitted,



Andrew Chan, BES
Policy Planner, Policy Planning
Engineering and Development Services Department

Attachments

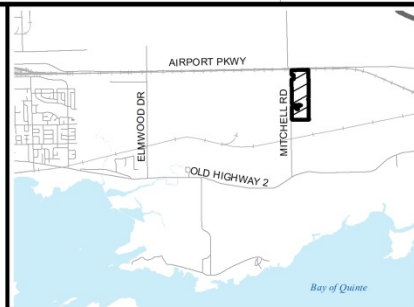
- Attachment #1 – Location and Existing Zoning Map
- Attachment #2 – Proposed Zoning Map
- Attachment #3 – Official Plan Designation
- Attachment #4 – Sketch of the Property
- Attachment #5 – Written submission from a member of the public



LOCATION MAP EXISTING ZONING

LOCATION: 464 MITCHELL RD

 - SUBJECT LANDS



CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT
SERVICES DEPARTMENT

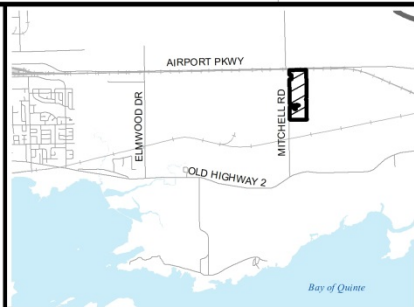
B-77-1106



PROPOSED ZONING BY-LAW AMENDMENT

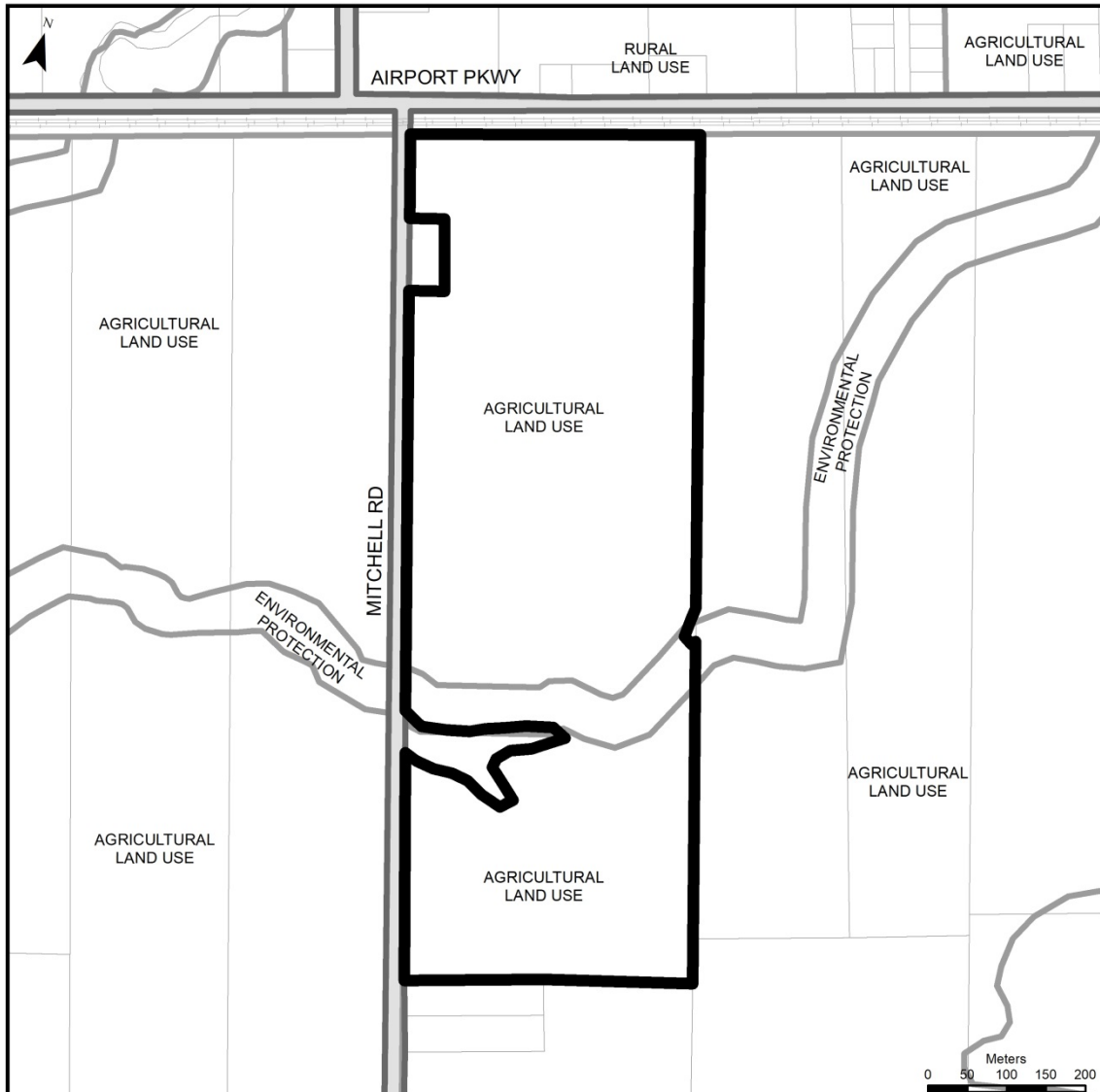
LOCATION: 464 MITCHELL RD

-  - SUBJECT LANDS
-  - PROPOSED ZONING CHANGE TO PA (PRIME AGRICULTURE) WITH SPECIAL PROVISIONS



CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT SERVICES DEPARTMENT

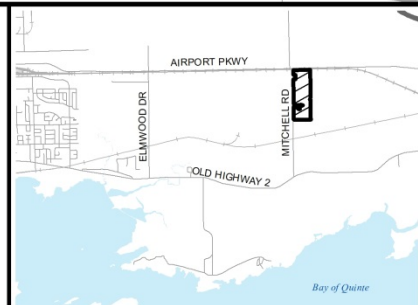
B-77-1106



LOCATION MAP LAND USE

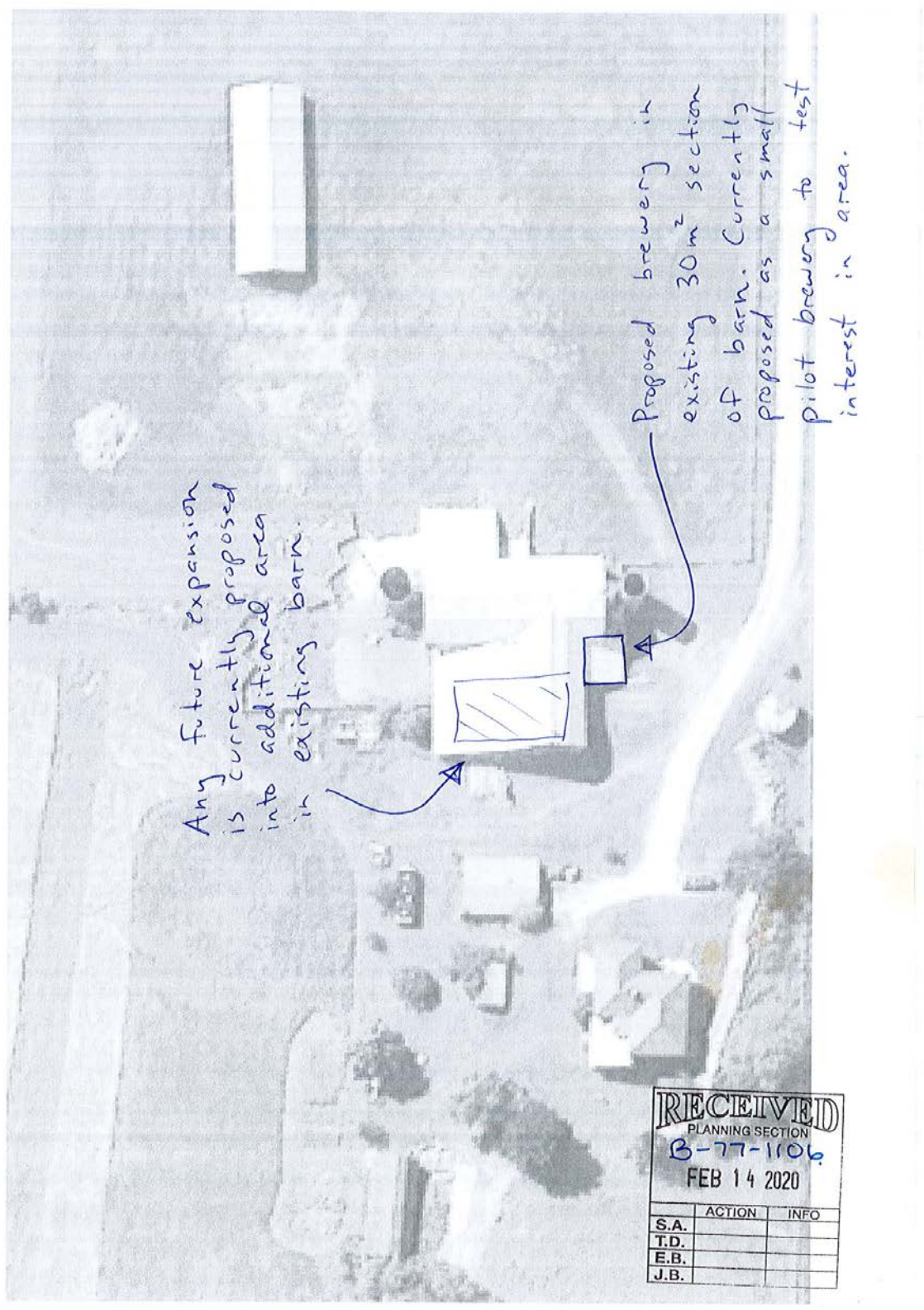
LOCATION: 464 MITCHELL RD

 - SUBJECT LANDS



CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT
SERVICES DEPARTMENT

B-77-1106



From: [Deming, Thomas](#)
To: [McAdam, Desta](#)
Cc: [Baldwin, Erin](#)
Subject: Fw: City of Belleville By-law proposal Brewery
Date: Tuesday, May 12, 2020 8:40:54 AM

FYI

From: xxxxxxxx xxxxxxxx <xxxxxxx.xxxxxxx@gmail.com>
Sent: Tuesday, May 12, 2020 1:08 AM
To: Ashton, Stephen; Deming, Thomas
Cc: MacDonald, Matthew
Subject: City of Belleville By-law proposal Brewery

CAUTION : This email is NOT from the city of Belleville. Do NOT click links or open attachments unless you recognize the sender and know the content is safe!

City of Belleville Planning Department,

Regarding the zoning-bylaw amendment proposal for application B-77-1106 located at 464 Mitchell Road, could you please provide particulars of the proposed operation. Have studies been completed how such an operation could impact the surrounding community.

What size of brewery is being proposed and what proposal has been submitted regarding offensive odors from the operation. Growing up and exposed to the Corbyville brewery, the community is well aware how offensive it was.

Please explain what the City of Belleville's expectations are regarding environmental transmission of offensive odors, noise, increased traffic of large equipment, storage of equipment and buildings both number and size involved with the operation. Is the proposal designed as not to affect the surrounding community involving group homes and residents alike.

Knowing the brewery proposal may have a direct impact with the many proposals submitted for our property located directly to the north of the proposed brewery, could you please provide as many details as possible prior to scheduling any further meetings. We understand the pandemic has delayed ongoing business for the municipality however we would appreciate learning the particulars as soon as possible.

Has scheduling of the bylaw meeting been set as we have invested interest whether the brewery is approved, depending on data re same. Please provide bylaw meeting date when available via email to xxxxxxxx.xxxxxxx@gmail.com

Additional to this request, what consideration has been given to our several proposals relating to our property on the northern section of the Mitchell Road. We understand that our property isn't currently in compliance with the Official Plan, however we would like to apply for a Bylaw Amendment for one of the proposals submitted but realize that support is necessary from the City of Belleville prior to submitting the application.

My husband and I wish to expedite development and submit a bylaw amendment similar to the by-law amendment in question.

Thanks in advance for your response.

xxxxxxx & xxxx xxxxxxxx
Phone xxx-xxx-xxxx

From: [McAdam, Desta](#)
To: [Baldwin, Erin](#)
Subject: FW: City of Belleville By-law proposal Brewery B-77-1106 location 464 Mitchell Road
Date: Wednesday, May 20, 2020 2:50:43 PM

Hi Erin ,

Please see below submission for 464 Mitchell Rd. Please include in file.

Thank you,

Desta

From: xxxxxxx.xxxxxx@gmail.com
Sent: May 13, 2020 1:21 AM
To: sashton@belleville.ca; tdeming@belleville.ca
Cc: mtmacdonald@belleville.ca
Subject: Re: City of Belleville By-law proposal Brewery B-77-1106 location 464 Mitchell Road

CAUTION: This email is **NOT** from the city of Belleville. Do **NOT** click links or open attachments unless you recognize the sender and know the content is safe!

Planning Department City of Belleville,

Re / Environmental Concerns By-Law Amendment B-77-1106

Further to our enquiry re By-law B-77-1106 we wish to express major concerns regarding the Environmental impact on the surrounding residential community, reasons as listed below. This is not an exhaustive list of our concerns.

With Environmental concerns including water consumption, wastewater, solid waste and by-products, energy and air emissions we assume such an operation is highly dangerous for residents and drilled wells alike.

We are not interested in this type of By-law Amendment however we wish to submit a By-law Amendment for one of our many proposals that the City will support.

Please include both emails dated May 12, 2020 to both our land file and By-law Amendment file B-77-1106 for further discussion.

My husband and I anxiously await follow through regarding the By-law Amendment in question, as the proposal appears it may have substantial impact on the residential community surrounding the area.

Follow through involving our many proposals involving housing on our property on XXXX XXX X, XXXXXXXXXXXX X, Thurlow Township, City of Belleville, East side Mitchell Road is appreciated. Possibly following written response and review, we could schedule a phone conference with those involved in a decision involving our land holdings.

Regards,

xxxxxxx & xxxx xxxxxxxx

Phone xxx-xxx-xxxx

The most significant environmental issues associated with the operation phase of breweries include water consumption, wastewater, solid waste and by-products, energy use and emissions to air.

Are breweries bad for the environment?

Environmental Issues. From grain to glass, all aspects of **brewing** and delivering beer to the marketplace are burdened with **environmental** issues, with water and

energy consumption being the two primary natural resource considerations. Carbon emissions are primarily proportional to energy consumption.

Is co2 from fermentation dangerous?

Fermentation produces carbon dioxide gas – about 40 times the volume of grape juice. Excessive carbon dioxide in the air can cause headache, sweating, rapid breathing, increased heartbeat, shortness of breath, and dizziness. ... Carbon dioxide has several occupational exposure limits set to help prevent harmful exposure.

How much co2 is produced in beer fermentation?

-Fermentation produces about 0.49lb of **CO2** for each lb of extract (**fermentation** by products by weight are around half **CO2** and half ethanol).

What Are the 3 Different Types of Fermentation?

lactic acid fermentation. Yeast strains and bacteria convert starches or sugars into lactic acid, requiring no heat in preparation. ...

ethanol fermentation/alcohol fermentation. ...

acetic acid fermentation.

How much money does it take to start a brewery?

You will need to pay alcohol tax and licenses and permits to **brew** and serve alcohol.

Overall, **starting a brewery could cost** you anywhere from \$250,000 to \$2.5 million or more depending on your desires, ambition and ability to negotiate.

How long does it take for yeast to produce co2?

about 4 to 5 weeks

Does making wine produce co2?

Carbon from the winemaking process **is** five times more concentrated than planes and cars. A litre of juice **produces** 60 litres of **carbon dioxide**. Why aren't we trapping it?" "A single bottle of **wine** contains 80g of **carbon dioxide**

What is the carbon footprint of beer?

The Guardian estimates that a local bottled **beer** from a local pub has a **carbon footprint** of 500g CO2e while an "extensively traveled" **beer** has nearly double that at 900g CO2e.

In brewing, alcoholic **fermentation** is the conversion of sugar into **carbon dioxide** gas (**CO2**) and ethyl alcohol. ...

Can botulism grow in beer?

Clostridium botulinum **can't grow in beer** so unless the bacteria was present during the **brewing** process, leaving its toxins in the **beer** (it's those toxins that **can** kill you), you're safe. Mar 28, 2019

[Clostridium botulinum - Food Safety and Inspection Service](https://www.fsis.usda.gov/.../foodborne-illness-and-disease/clostridium-botulinum/ct_index)

https://www.fsis.usda.gov/.../foodborne-illness-and-disease/clostridium-botulinum/ct_index

Botulism is a life-threatening disease caused by the ingestion of a potent neurotoxin produced during growth of the **C. botulinum** bacteria. This neurotoxin is among the most toxic substances known; even microscopic amounts **can cause illness** or death.

Why does my beer keep foaming?

Hydrophobins are created by a fungus that infects malt grains during the **brewing** process, attracting carbon-dioxide molecules within the beverage to the surface. Too many carbon-dioxide molecules at the **beer's** neck can cause the bottle to bubble over when it's opened, much to breweries' chagrin.



| | |
|----------------|--------------------|
| APPROVAL BLOCK | |
| DE & DS | <i>SA</i> |
| MPP | <i>Andrew Chan</i> |

CITY OF BELLEVILLE
Andrew Chan, Policy Planner
Engineering and Development Services Department
Report No. PP-2020-20
June 1, 2020

To: Belleville Planning Advisory Committee

Subject: Notice of Complete Application and Introductory Public Meeting for Application for Proposed Amendment to Zoning By-Law Number 10245, As Amended
144 Avondale Road, City of Belleville
OWNER/APPLICANT: Matt Giesebrecht
AGENT: Caitlin Sheahan, Ainley Group

File: B-77-1107

Recommendation:

"That Report No. PP-2020-20 dated June 1, 2020 regarding Notice of Complete Application and Introductory Public Meeting for Application for Proposed Amendment to Zoning By-Law Number 10245, As Amended – 144 Avondale Road, City of Belleville, County of Hastings be received as information;

That Staff report back at such time as input from the public, commenting agencies, and municipal departments has been received, assessed, and addressed to the satisfaction of the Engineering and Development Services Department, and following the Committee of Adjustment decision regarding Consent applications B11/20 and B12/20."

Background:

An application for 144 Avondale Road was received by the City of Belleville on February 27, 2020. The subject land is identified on the attached Location and Existing Zoning Map (Attachment #1).

The initial public meeting is held in accordance with the requirements of the Planning Act. The purpose of this meeting is for Committee Members to formally hear and receive public comments. The intent of this statutory public planning meeting is to receive public feedback and incorporate it into a recommendation report from Staff.

The applicant is proposing to rezone the subject land in anticipation of a condition of Consent applications B-11/20 and B-12/20. Consent applications B-11/20 and B-12/20 propose to sever two (2) new residential lots from the surplus rear yard area of the subject land, however, due to circumstances surrounding COVID-19, a decision from the Committee of Adjustment is outstanding.

The two proposed severed parcels would be rezoned from Residential First Density (R1) Zone to Residential Second Density (R2) Zone. The retained parcel would remain zoned Residential First Density (R1) Zone. The area subject to the proposed re-zoning is shown on the Proposed Zoning Map (Attachment #2).

Site details for the subject land:

| Site Review | Description |
|---|---|
| Site Location | The subject land is municipally known as 144 Avondale Road which is located on the northeast corner of Avondale Road and Aldersgate Drive |
| Site Size | Retained: ~734 square metres Severed: ~567 square metres each |
| Present Use | Residential |
| Proposed Use | Retained: residential Severed: two residential lots |
| Belleville Official Plan Designation | Residential |
| Present Zone Category | Residential First Density (R1) Zone |
| Proposed Zone Category | Retained: Residential First Density (R1) Zone Severed: Residential Second Density (R2) Zone |
| Land uses to the north | Residential |
| Land uses to the east | Residential |
| Land uses to the south | Residential |
| Land uses to the west | Residential |

In support of the application, the following was submitted:

- A Cover Letter (Attachment #4);
- An Aerial Image (Attachment #5);
- A Sketch of the Severance (Attachment #6); and
- A Sketch of the Proposed Zoning (Attachment #7).

These documents are available online for public review at www.belleville.ca/DevelopmentApplications.

Proposal

The Applicant is proposing to rezone a portion of the subject land from Residential First Density (R1) Zone to Residential Second Density (R2) Zone. The proposed zoning is shown on the Proposed Zoning Map (Attachment #2).

The purpose of the rezoning application is to respond to an anticipated condition for Consent files B11/20 and B12/20, which would require that the severed parcels from the subject land be rezoned to reflect the proposed lot dimensions. Since this application directly relates to an anticipated condition of Consent, a Staff recommendation report will not be brought forward until a decision from the Committee of Adjustment is made with respect to the proposed Consent applications.

Provincial Policy Statement

Municipalities are required to ensure all decisions related to land use planning matters shall be consistent with the Provincial Policy Statement.

Planning Staff will consider the following policies in the PPS:

- 1.1.1 Healthy, livable and safe communities are sustained by:
 - a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;
 - e) promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;
- 1.1.3.1 Settlement areas shall be the focus of growth and development.
- 1.1.3.2 Land use patterns within settlement areas shall be based on densities and a mix of land uses which:
 - a) efficiently use land and resources;
 - b) are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;
 - c) minimize negative impacts to air quality and climate change, and promote energy efficiency;
 - e) support active transportation;
 - f) are transit-supportive, where transit is planned, exists or may be developed.

1.1.3.4 Appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form, while avoiding or mitigating risks to public health and safety.

Official Plan

The current Official Plan was adopted by City Council on June 18, 2001 and approved by the Ministry of Municipal Affairs and Housing on January 7, 2002. Since 2002, a significant number of new and updated policies and legislation have occurred at the provincial level. The City is currently undertaking a Municipal Comprehensive Review and update to the policies of the Official Plan to ensure they comply with current provincial policies and legislation. The City will have to comply with the province's new legislation, regulations, and policies when updating the Official Plan.

The land is designated "Residential" in the City's Official Plan (Attachment #3 – Official Plan Designation Map). Planning Staff use the policies within the Official Plan to make recommendations.

The following policies regarding the Residential Land Use will be considered:

- The type and arrangement of dwellings and densities are important to the character of the City and specific residential neighbourhoods. Ideally all neighbourhoods should contain a mixture of dwelling types at different densities, but in some cases this is not possible nor is it desirable; some neighbourhoods therefore may consist predominantly of one form of housing whereas other neighbourhoods would have greater variety. Care should be exercised however to not create areas of excessively high densities without ample supply of municipal services and community facilities to meet the needs of such a neighbourhood.
- The conservation and rehabilitation of existing housing stock is encouraged by this Plan in order to maintain the supply of older housing and to preserve the character of existing neighbourhoods. Infill housing should be encouraged in existing neighbourhoods to maximize land utilization and efficiency of municipal infrastructure, provided such development does not detract from the character of the neighbourhood. In some instances, conversion of larger existing residential dwellings into multiple use is warranted provided sufficient parking can be provided and the character of the existing dwelling is not significantly altered.

Zoning By-Law

The subject land is currently zoned Residential First Density (R1) Zone in Zoning By-Law 10245.

Consent applications B11/20 and B12/20 propose to sever two new residential lots from part of the rear yard area of the subject land. The proposed severed parcels, if approved, will not meet the minimum lot frontage and lot area requirements of the Residential First Density (R1) Zone, and will require rezoning.

This application proposes to rezone the area of the subject land to be severed as a result to Consent applications B11/20 and B12/20 to a Residential Second Density (R2) Zone.

The relevant R1 and R2 Zone provisions and the dimensions of the severed parcels are summarized in the following table:

| Provisions | R1 Zone | R2 Zone | Proposed Severed Parcels |
|----------------------|-----------------------------------|-----------------------------------|--------------------------|
| Permitted Use | Includes Single-Detached Dwelling | Includes Single-Detached Dwelling | - |
| Minimum Lot Frontage | 18 metres | 15 metres | 15 metres |
| Minimum Lot Area | 696.5 square metres | 464.5 square metres | ~567 square metres |

Public Comments

On March 13, 2020, a written notice and location map was mailed by first class mail to all registered owners of land within 120 metres of the subject property. The notice provided information that a public meeting was scheduled for April 6, 2020.

Similarly, a sign was placed on the subject land notifying the general public that a public meeting was scheduled for April 6, 2020.

Due to circumstances surrounding COVID-19, the Public Meeting scheduled for April 6, 2020 was cancelled, and a Notice of cancellation was issued.

On May 11, 2020, a new written notice and location map was mailed by first class mail to all registered owners of land within 120 metres of the subject property. The notice provided information that a public meeting was scheduled for June 1, 2020.

A new sign was placed on the subject land notifying the general public that a public meeting was scheduled for June 1, 2020.

At the time of writing this report, no correspondence from the public has been received by the City regarding this application.

Staff and Agency Comments

External Agency Circulation

The subject application was circulated for comment to the Algonquin & Lakeshore Catholic School Board, the Hastings & Prince Edward District School Board, Hastings and Prince Edward Health Unit, Bell Canada, Canada Post, Ontario Power Generation, Union Gas, Elexicon Energy, Hydro One, TransCanada Pipeline, Enbridge Pipelines, Trans-Northern Pipelines, MPAC, the Health Unit, and Quinte Conservation.

Quinte Conservation has provided correspondence stating that that they have no objections to the application.

At the time of writing this report, no other comments or concerns have been received regarding this application.

Internal Department Circulation

The subject application was circulated for comment to the Belleville Fire Department, Belleville Police Service, the General Manager of Transportation & Operations Department, General Manager of Environmental Services, the Director of Recreation, Culture and Community Services, the Manager of Parks & Open Spaces, the Chief Administrative Officer, the Manager of Economic & Strategic Initiatives, the City Clerk, and the Chief Building Official, the Manager of Approvals, and the Accessibility Co-ordinator.

Belleville Parks & Open Spaces, Fire Department, and Recreation, Culture and Community Services have provided correspondence that they have no objections to the application.

At the time of writing this report, no other comments or concerns have been received regarding this application.

Considerations:

Public

Circulation to the public complies with the requirements of the Planning Act, R.S.O. 1990.

Financial

The fees of the application have been received by the City.

Impact on and input from other Departments/Sources

Circulation of this application to other departments/agencies has occurred.

Strategic Plan Alignment

The City of Belleville's Strategic Plan identifies nine strategic themes including Residential Development.

Strategic objectives of the Residential Development theme include:

- Plan for residential growth to meet our needs for 20 years and designate sufficient land in our planning documents to accommodate residential growth for 10 years; and
- Provide for a variety of housing forms to reflect our changing demographics and need for affordability.

Conclusion:

Comments received at this public meeting, as well as subsequent written comments will be considered by the Engineering and Development Services Department in analysis of the application received to amend the City of Belleville Zoning By-Law 10245. A recommendation report will be brought forward upon receipt of all agency and public comments, and following the Committee of Adjustment decision regarding Consent applications B11/20 and B12/20.

Respectfully submitted,



Andrew Chan, BES
Policy Planner, Policy Planning
Engineering and Development Services Department

Attachments

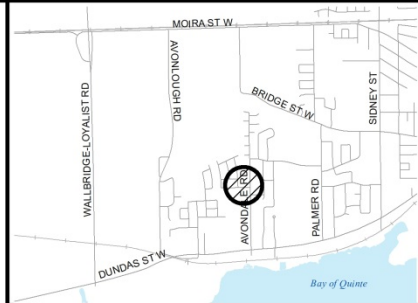
- | | |
|-----------------|----------------------------------|
| Attachment #1 – | Location and Existing Zoning Map |
| Attachment #2 – | Proposed Zoning Map |
| Attachment #3 – | Official Plan Designation |
| Attachment #4 – | Cover Letter |
| Attachment #5 – | Aerial Image |
| Attachment #6 – | Sketch of the Severance |
| Attachment #7 – | Sketch of the Proposed Zoning |



LOCATION MAP EXISTING ZONING

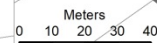
LOCATION: 144 AVONDALE RD

 - SUBJECT LANDS






CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT
SERVICES DEPARTMENT

B-77-1107

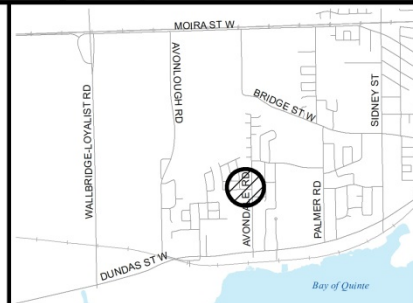


PROPOSED ZONING BY-LAW AMENDMENT

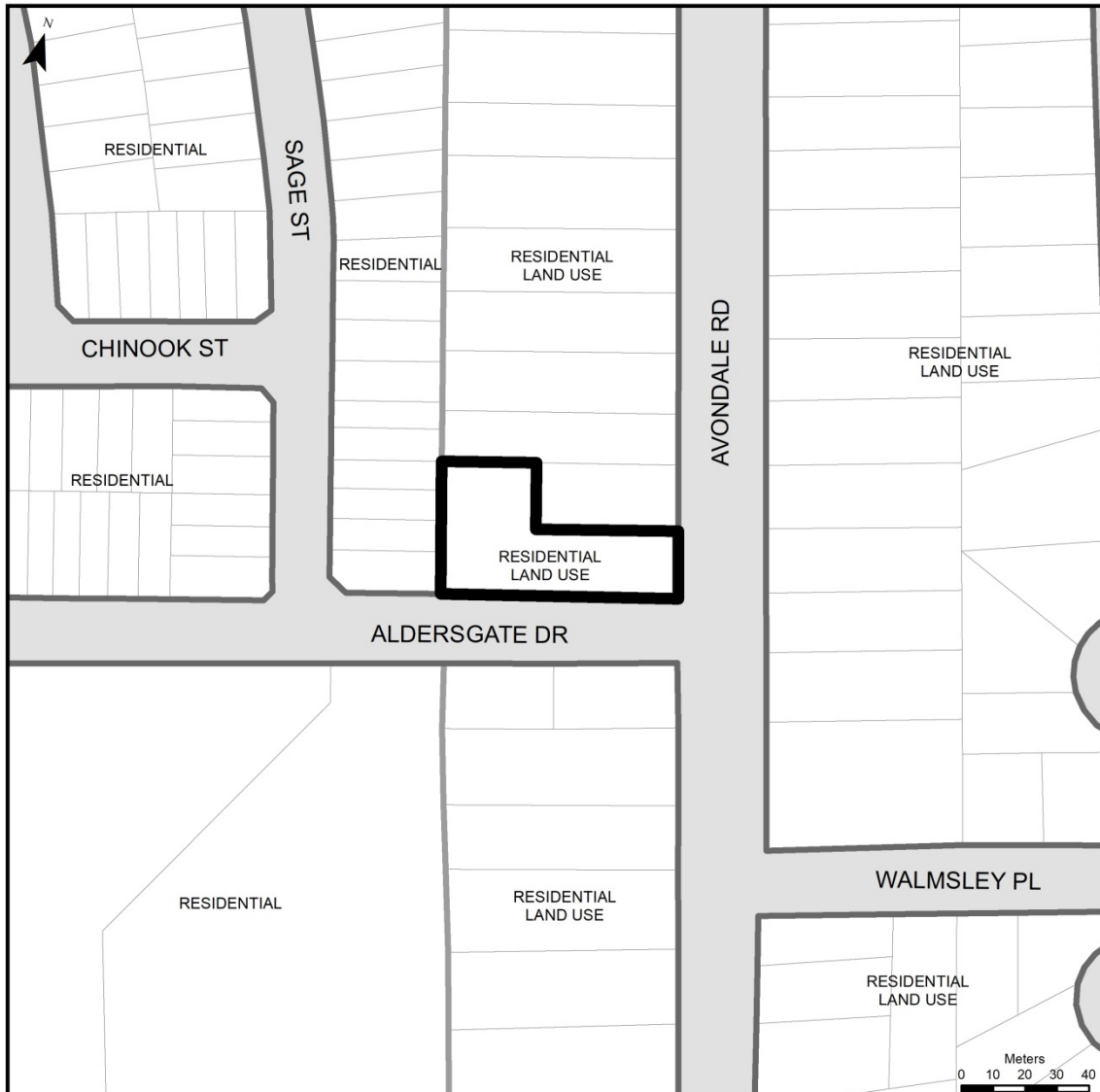
LOCATION: 144 AVONDALE RD

-  - SUBJECT LANDS
-  - PROPOSED ZONING CHANGE TO R2 (RESIDENTIAL SECOND DENSITY)
-  - PROPOSED SEVERED PROPERTIES

B-77-1107



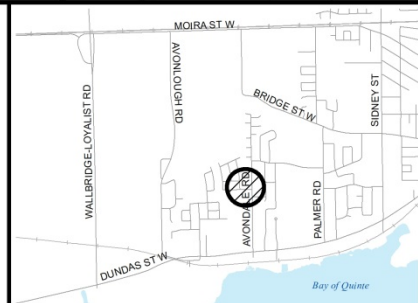
CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT SERVICES DEPARTMENT



LOCATION MAP LAND USE

LOCATION: 144 AVONDALE RD

 - SUBJECT LANDS



CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT
SERVICES DEPARTMENT

B-77-1107



MEMORANDUM

Ainley Graham & Associates Limited
139 Front Street Unit 100, Belleville, ON K8N 2Y6
Tel: (613) 966-4243 P Fax: (613) 966-1168

To: Greg Pinchin

From: Caitlin Sheahan

Date: February 27, 2020

Ref: Application for Zoning By-Law Amendment
144 Avondale Road

File: 19637-1

BACKGROUND

Ainley Group has been retained to prepare Applications for Consent and Zoning By-Law Amendment for the property located at 144 Avondale Road, immediately north of the intersection of Avondale Road and Aldersgate Drive in Belleville, Ontario, described as:

Part of Lot 16
Registered Plan 198
Former Sidney Township, now City of Belleville, Hastings County

The subject property has 21.3m of frontage on Avondale Road and 65.15m of frontage on Aldersgate Drive. The property is bounded to the west by Potters Creek residential development (R5-37 zoning) and to the east, north, and south by other Avondale Road residential development (R1 zoning). A regional location plan showing the location of the site relative to other urban and residential properties is attached as **Figure 1**.

The current and future land use for the property is residential. It is proposed to sever approximately 1140m² from the rear of the lot at 144 Avondale Road and create two (2) new development lots for single family residential units. The proposed lots will each have 15.0m frontage on Aldersgate Drive and approximately 38.0m depth (**Figure 2**). This would leave the retained 144 Avondale Road lot with a lot size of approximately 749m², which exceeds the minimum area for the existing R1 zoning (min. lot area - 696.5m²). As such, the retained lot will comply with its existing R1 zoning.

ZONING BY-LAW AMENDMENT

The proposed two (2) new infill lots would not be in compliance with the existing R1 zoning of the subject lands. As such, it is proposed to rezone the two new lots to the R2 zone. The proposed two (2) new lots comply with the special provisions of the R2 zone, including minimum frontage (15.0m) and minimum lot area (464.5m²). This proposed zoning and lot size is consistent with other single family residential lot sizes in Belleville subdivisions, such as Potters Creek, located to the immediate west of the subject lands. **Figure 3** shows the

proposed lands to be rezoned.

SERVICING CONSIDERATIONS

This proposal will require bringing sanitary sewer services from Avondale to service the future lots. Municipal watermain is already available on Aldersgate Drive. The City has Avondale Road reconstruction on the 2020 budget as a Capital Works project. The property owner has requested that the City include the two (2) proposed sanitary service laterals as part of the proposed construction works. A permanent 3.0m wide easement on the 144 Avondale property would be required for the two (2) 135mm diameter PVC sanitary service laterals. Two (2) new watermain services will be provided to the Municipal main on Aldersgate Drive.

This potential future infill development would provide residential use which is similar to the existing land use found throughout the surrounding area. An overview of how the proposal conforms to the City's Official Plan and the Provincial Policy Statement is as follows.

Official Plan

The lands are designated for residential land use within the City's Official Plan. The Official Plan outlines the vision and objectives for the City (City of Belleville, 2002).

Section 3.10-Residential Land Use policies of the Official Plan states, "*Residential development within areas designated Residential land use should be permitted to occur at various densities within the City to ensure a full range of housing forms at different sizes and styles that meets the needs of all citizens provided.*"

- The proposed lot severances from 144 Avondale and Zoning By-Law Amendment will create two (2) infill residential lots of approximately 570m² area each. This will contribute to the supply of a range and mix of housing types and densities available in the City of Belleville to meet projected requirements of current and future residents by providing housing which is affordable to low and moderate income households.

Section 3.10.2 (h) states, "*Infill housing should be encouraged in existing neighborhoods to maximize land utilization and efficiency of municipal infrastructure, provided such development does not detract from the character of the neighborhood.*"

- The proposed infill project will maximize the use of lands which are currently underdeveloped and abutting high density development (R5-37). The character of the neighborhood will be consistent with that of existing Aldersgate Drive. Further, the proposal will include use of existing municipal infrastructure, which should be promoted, wherever feasible.

Section 7.15.4 states that the Official Plan "...*supports compatible housing intensification and infill development such as...infilling on existing lots of record and maximizing use of underutilized lots.*"

- The existing 144 Avondale Road lot backs onto townhouses developed according to the R5-37 Zoning By-Law. The proposed infill residential development fronting Aldersgate Drive develop the site to a higher level of use, similar to the surrounding Potters Creek development, and will make use of existing municipal sewer and water

services.

Provincial Policy Statement

The provincial policy statement (PPS) came into effect April 30, 2014 (Provincial Policy Statement, 2014). The PPS provides direction on matters of Provincial interest. Section 2 of the Planning Act requires that the decisions of municipal councils 'be consistent' with the PPS in matters related to planning. The PPS ensures that development provides an efficient use of land, that it co-ordinates with existing and possible future transit opportunities and that development contributes to the long-term economic health of the municipality. The following information addresses how the proposed meets the requirements and intent of the various sections of the PPS regarding building strong communities.

Section 1.1.2 of the PPS indicates that, "*Sufficient land shall be made available to accommodate an appropriate range and mix of land uses to meet projected needs for a time horizon of up to 20 years.*" This section supports intensification for the development of vacant and / or underutilized lots within previously developed areas.

- The subject lands are currently underutilized within a serviceable area that can be redeveloped for residential uses. The proposed will create infill residential development fronting Aldersgate Drive. This is consistent with the PPS as an intensification project within a settlement area that will provide housing to meet the future population needs of the City.

Section 1.1.3.1 states, "*Settlement Areas shall be the focus of growth and development, and their vitality and regeneration shall be promoted.*"

- The PPS directs residential development to settlement areas, which are defined as urban areas, including villages and hamlets. The City of Belleville is a designated settlement area. It is therefore appropriate and consistent with the PPS that these underutilized lots be made available for infill residential development.

Section 1.4.1 states, "*...planning authorities shall maintain at all times the ability to accommodate residential growth for a minimum of 10 years through residential intensification and redevelopment and, if necessary, lands which are designated and available for residential development.*"

- The proposed redevelopment would accommodate housing demand through the intensification of currently underutilized serviced / serviceable lands which are designated for residential use by the Municipality's Official Plan.

Section 1.4.3 states, "*Planning authorities shall provide for an appropriate range and mix of housing types and densities to meet projected requirements of current and future residents...by directing the development of new housing towards locations where appropriate levels of infrastructure and public service facilities are or will be available to support current and projected needs.*"

- The proposed two (2) infill lots and retained 144 Avondale Road lot will create smaller

lot sizes, which will provide more affordable housing within the City. It will also allow for efficient use of existing infrastructure and public service facilities.

Section 1.6.6.1 states, "*planning for sewage and water services shall direct and accommodate expected growth or development in a manner that promotes the efficient use and optimization of existing municipal sewage services and municipal water services...*"

- This proposal will utilize municipal sewage services and water services which are the preferred form of servicing for settlement areas. The PPS states that intensification and redevelopment within settlement areas on existing municipal sewage and water services should be promoted, wherever feasible.

References

City of Belleville. Official Plan. Adopted by By-law 2001-98 on June 18th, 2001. Approved by MMAH on January 7th, 2002.

City of Belleville GIS Viewer. gis.city.belleville.on.ca Site accessed January 24, 2020.

Provincial Policy Statement. Ministry of Municipal Affairs and Housing. Approved by the Lieutenant Governor in Council, Order in Council No. 107/2014. 2014.

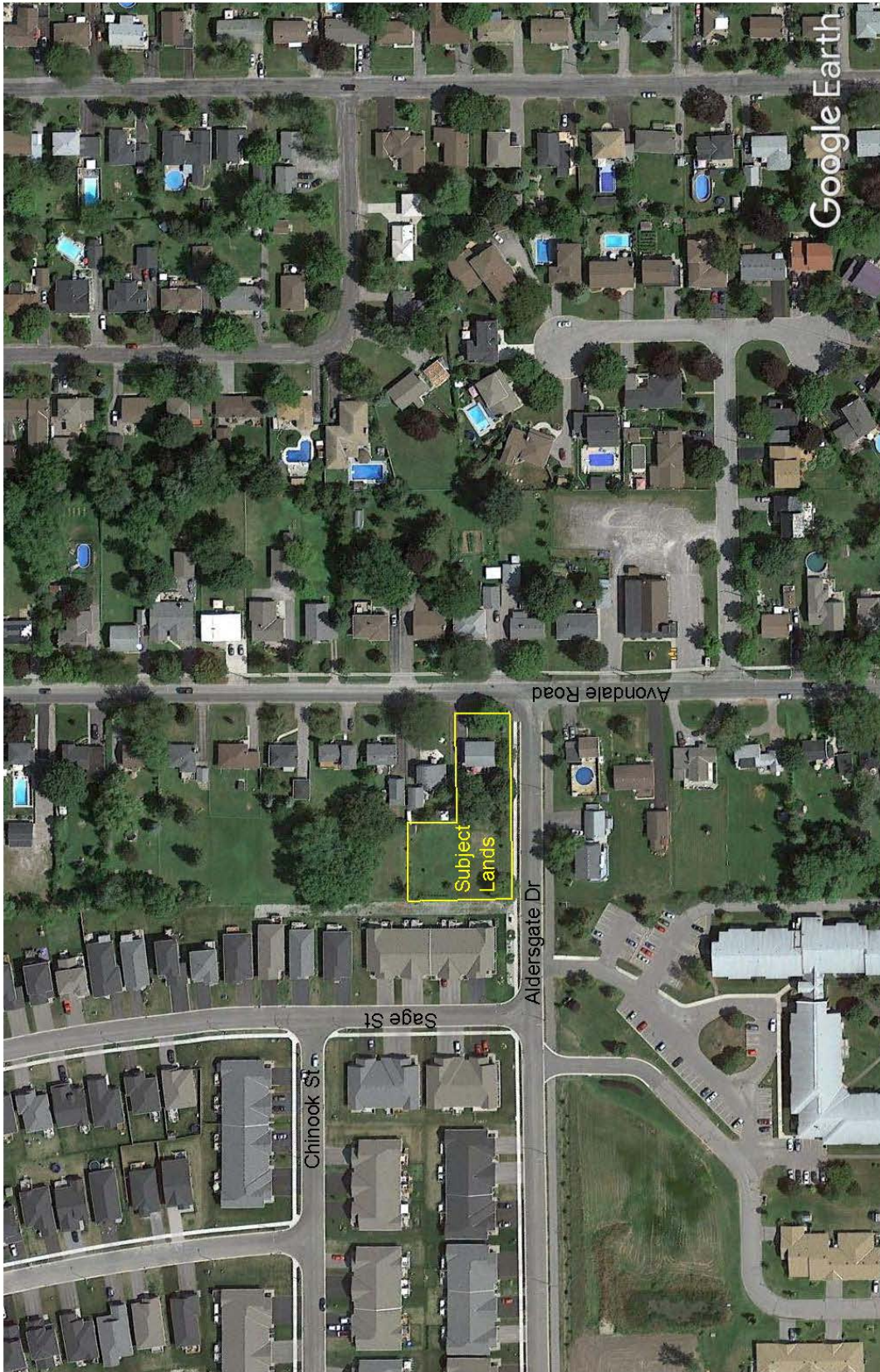
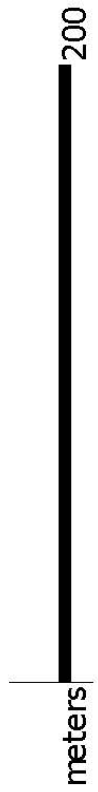


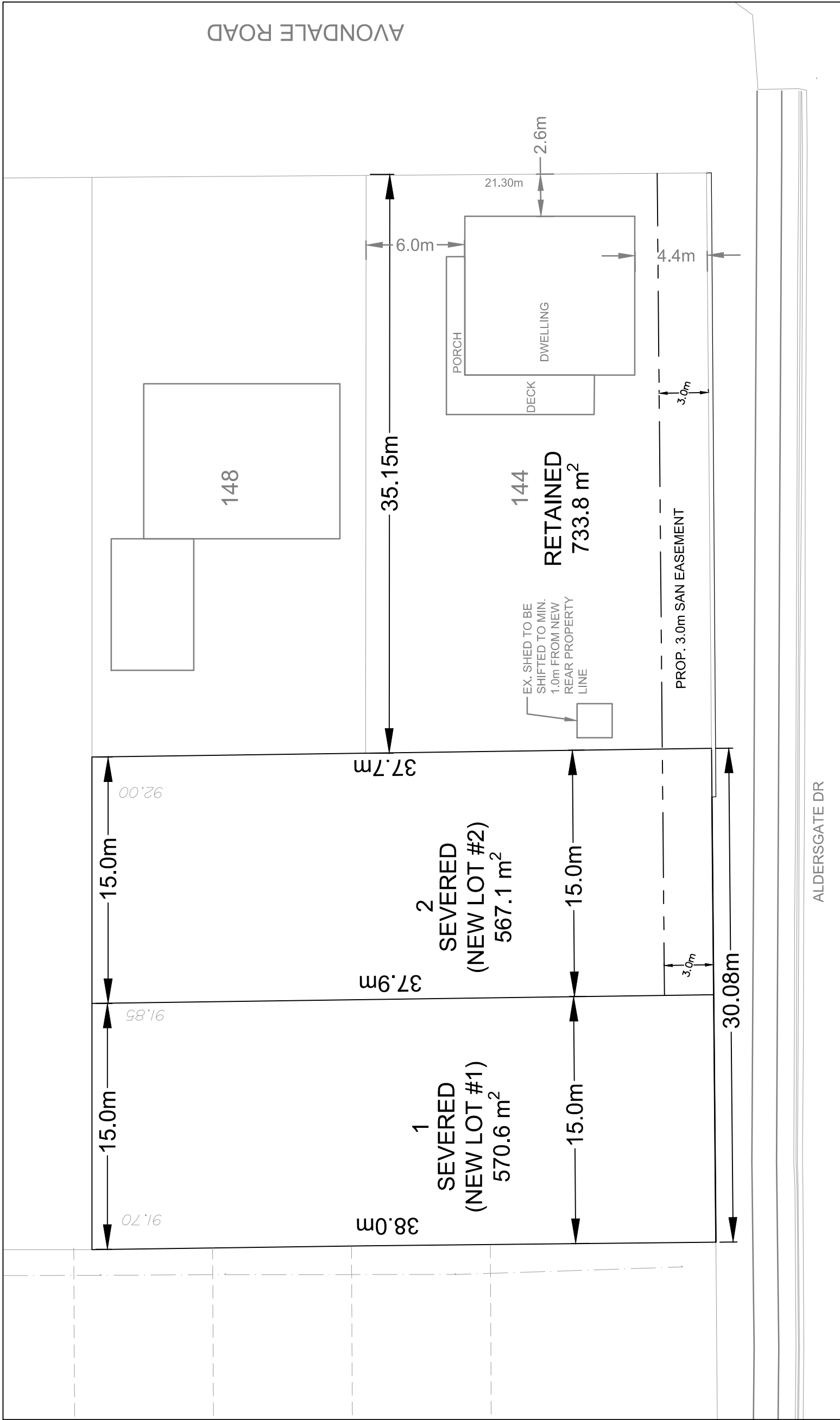
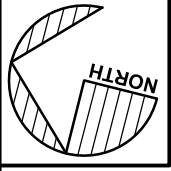
Figure 1: Key Map



PP-2020-20

Attachment #6
Sketch of the Severance

June 1, 2020



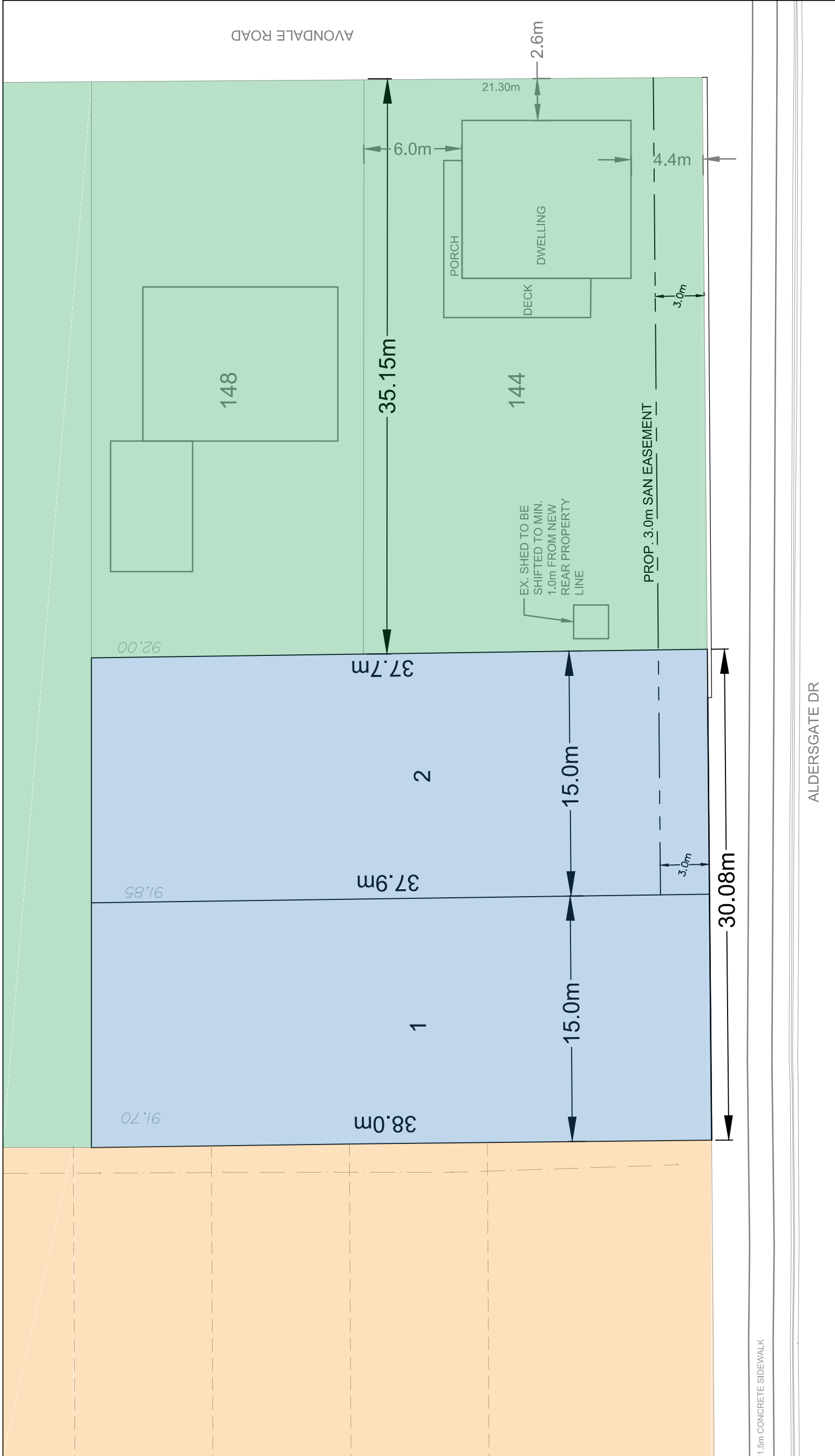
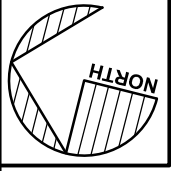
SKETCH
 PART OF PARK LOT 16
 REGISTERED PLAN 198
 TOWNSHIP OF SIDNEY
 COUNTY OF HASTINGS
 METRIC SCALE: 1:250

| | | |
|--|---|--|
| | 144 AVONDALE SEVERANCES CITY OF BELLEVILLE | CONSULTING ENGINEERS PLANNERS CONTRACT No. 19637-1 Date: FEB 2020 |
| | SEVERANCE PLAN | |

PP-2020-20

Attachment #7
Sketch of the Proposed Zoning

June 1, 2020



- EXISTING R1 ZONE PROPOSED TO BE AMENDED TO R2
- EXISTING R1 ZONE TO REMAIN
- EXISTING R5-37 ZONE TO REMAIN

SKETCH
 PART OF PARK LOT 16
 REGISTERED PLAN 198
 TOWNSHIP OF SIDNEY
 COUNTY OF BELLEVILLE
 COUNTY OF HASTINGS
 METRIC SCALE: 1:250

EXISTING R1 ZONE PROPOSED TO BE AMENDED TO R2

EXISTING R1 ZONE TO REMAIN

EXISTING R5-37 ZONE TO REMAIN



| | |
|----------------|---------------------|
| APPROVAL BLOCK | |
| DE& DS | <i>SA</i> |
| MPP | <i>Maura McAdam</i> |

CITY OF BELLEVILLE
Andrew Chan, Policy Planner
Engineering and Development Services Department
Report No. PP-2020-25
June 1, 2020

To: Belleville Planning Advisory Committee

Subject: Notice of Complete Application and Introductory Public Meeting for Application for Proposed Amendment to the Loyalist Secondary Plan, As Amended, and Zoning By-Law Number 2076-80, As Amended
Wallbridge-Loyalist Road, Part Lot 31, Concession 1, Part 1, Registered Plan 21R-19789, City of Belleville
OWNER: Quinte Business Development Centre Inc.
APPLICANT/AGENT: Spencer Hutchison, RFA Planning Consultant Inc.

File: B-77-1108

Recommendation:

"That Report No. PP-2020-25 dated June 1, 2020 regarding Notice of Complete Application and Introductory Public Meeting for Application for Proposed Amendments to the Loyalist Secondary Plan, As Amended, and Zoning By-Law Number 2076-80, As Amended – Wallbridge-Loyalist Road, Part Lot 31, Concession 1, Part 1, Registered Plan 21R-19789, City of Belleville, County of Hastings be received as information, and;

That Staff report back at such time as input from the public, commenting agencies, and municipal departments has been received, assessed, and addressed to the satisfaction of the Engineering and Development Services Department."

Background:

Applications for Wallbridge-Loyalist Road, Part Lot 31, Concession 1, Part 1, Registered Plan 21R-19789 were received by the City of Belleville on April 17, 2020. The subject land is identified on the attached Location and Existing Zoning Map (Attachment #1).

The initial public meeting is held in accordance with the requirements of the

Planning Act. The purpose of this meeting is for Committee Members to formally hear and receive public comments. The intent of this statutory public planning meeting is to receive public feedback and incorporate it into a recommendation report from Staff.

The subject land is currently vacant. The owner is proposing a Public Facility consisting of office, educational training, and co-working spaces.

To permit this use, the Applicant is proposing to redesignate the subject land from "Residential Land Use" to "Community Facility Land Use" in the Loyalist Secondary Plan. The proposed redesignation is shown on the Proposed Designation Map (Attachment #4).

Concurrently, the Applicant is proposing to rezone the subject land from Residential Rural (RR-44) Zone Exception to Community Facility (CF) Zone. The proposed zoning is shown on the Proposed Zoning Map (Attachment #2).

Site details for the subject land:

| Site Review | Description |
|---|---|
| Site Location | The subject land is municipally known as Wallbridge-Loyalist Road Part Lot 31, Concession 1, Part 1, Registered Plan 21R-19789, which is located on the east side of Wallbridge-Loyalist Road, south of Moira Street West and north of Dundas Street West |
| Site Size | 11,286 square metres |
| Present Use | Vacant |
| Proposed Use | A Public Facility consisting of office, educational training, and co-working spaces |
| Present Loyalist Secondary Plan Designation | Residential Land Use |
| Proposed Loyalist Secondary Plan Designation | Community Facility Land Use |
| Present Zone Category | Residential Rural (RR-44) Zone Exception |
| Proposed Zone Category | Community Facility (CF) Zone |
| Land uses to the north | Loyalist College |
| Land uses to the east | Vacant |
| Land uses to the south | Single-Detached Dwelling |
| Land uses to the west | The City of Quinte West |

In support of the application, the following was submitted:

- A Concept Site Plan (Attachment #5);
- A Concept Building Plan (Attachment #6);
- A Concept West Building Elevation (Attachment #7);
- A Site Servicing Letter (Attachment #8);
- Traffic Impact Brief (Attachment #9);

- A Planning Justification Report (Attachment #10);
- The Proposed Official Plan Amendment (Attachment #11);
- The Proposed Zoning By-Law Amendment (Attachment #12);
- A Google Aerial Photo (Attachment #13);
- A Google Street View Photo (Attachment #14); and
- The Plan of Survey R-Plan 21R-19789 (Attachment #15).

These documents are available online for public review at www.belleville.ca/DevelopmentApplications.

Proposal

The owner is proposing a Public Facility consisting of office, educational training, and co-working spaces. To permit this use, the Applicant is proposing to redesignate the subject land from "Residential Land Use" to "Community Facility Land Use" in the Loyalist Secondary Plan. Concurrently, the Applicant is proposing to rezone the subject land from Residential Rural (RR-44) Zone Exception to Community Facility (CF) Zone.

Provincial Policy Statement

Municipalities are required to ensure all decisions related to land use planning matters shall be consistent with the Provincial Policy Statement. Planning Staff will consider the following policies in the PPS:

- 1.1.1 Healthy, livable and safe communities are sustained by:
 - a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;
 - e) promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;
- 1.1.3.1 Settlement areas shall be the focus of growth and development.
- 1.1.3.2 Land use patterns within settlement areas shall be based on densities and a mix of land uses which:
 - a) efficiently use land and resources;
 - b) are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;
 - c) minimize negative impacts to air quality and climate change, and promote energy efficiency;

- e) support active transportation;
 - f) are transit-supportive, where transit is planned, exists or may be developed.
- 1.3.1 Planning authorities shall promote economic development and competitiveness by:
- a) providing for an appropriate mix and range of employment and institutional uses to meet long-term needs;
 - b) providing opportunities for a diversified economic base, including maintaining a range and choice of suitable sites for employment uses which support a wide range of economic activities and ancillary uses, and take into account the needs of existing and future businesses; and
 - e) ensuring the necessary infrastructure is provided to support current and projected needs.
- 1.6.5 Public service facilities should be co-located in community hubs, where appropriate, to promote cost-effectiveness and facilitate service integration, access to transit and active transportation.

Loyalist Secondary Plan

The subject land is designated "Residential Land Use" in the City's Loyalist Secondary Plan (Attachment #3 – Loyalist Secondary Plan Current Designation Map). Planning Staff use the policies within the Loyalist Secondary Plan to make recommendations.

The Residential designation on this property limits the permitted uses to one (1) dwelling unit. Applicant is proposing to redesignate the subject land from "Residential Land Use" to "Community Facility Land Use" (Attachment #4 – Loyalist Secondary Plan Proposed Designation Map). Staff will consider the following policies:

- 3.3.1 Community Facility Land Use Permitted Uses should be defined according to:
- the function for which the area is designated;
 - the nature of access to the subject lands;
 - the servicing limitations of the subject lands; and
 - the nature of adjoining lands uses and the potential for land use conflict.
- 3.3.2 Community Facility Land Use Policies:
- a) Development of the majority of institutional or public facility uses is dependent upon vehicular access to function properly. Points of ingress and egress should be established to ensure safe movement of:
 - vehicular traffic on the public street;

- vehicular traffic on the subject and adjoining lands; and
 - pedestrian and cyclist traffic along the street.
- c) This Plan encourages the joint or multiple use of community facilities to provide the most efficient and effective use of physical resources in the community. This Plan also encourages grouping of community facilities to maximize use of related services and to provide convenience to the public.
- d) The visual appearance of all parking lots and service areas should be enhanced through appropriate landscaping. Appropriate lighting of such areas is required to ensure public safety; lighting should be oriented however away from nearby residential properties and from interfering with visibility on public streets.
- e) Parking lots, service areas and outdoor activity areas should be located so as to minimize the effects of noise and fumes on nearby residential properties. Measures to mitigate the impact of such facilities on adjoining residential areas by fencing or plantings, berming and buffer strips, or increased setbacks should be employed as required.

Zoning By-Law

The subject land is currently zoned Residential Rural (RR-44) Zone in Zoning By-Law 2076-80, which permits a single-detached dwelling. The special provisions pertaining to this zone provide minimum lot frontage and lot area requirements, and specify that the maximum area from which natural vegetation can be removed to accommodate a dwelling, services and landscaping shall not exceed 40% of the lot area; that the minimum building setback from the 1:100 year floodline shall be 30 metres; and the 15 metres adjacent to the floodline shall be maintained in natural vegetation.

This application proposes to change the current zoning of the subject land to a Community Facility (CF) Zone. Functioning alongside Loyalist College, the proposed Public Facility will consist of office, educational training, and co-working spaces.

The following uses are permitted in Community Facility (CF) Zones:

| Community Facility (CF) Zone Permitted Uses | |
|---|---------------------------------|
| Art Gallery | Museum |
| Church and/or Religious Institution | Public School or Private School |
| Community Centre | Meeting Hall |
| Fire Hall | Cemetery |
| Public Utility and/or Maintenance Facility Municipal | Day Nursery |
| Public Park and Playground | Public Facility |
| Recreation Use | Group Home |
| Government Administration Building | Public Use |
| Library | |

A Public Facility is defined as a building or part of a building used for a non-commercial purpose by any organized body, religious group and/or society such as a hospital, a library, a convent and/or a similar use.

Public Comments

On May 11, 2020, a written notice and location map was mailed by first class mail to all registered owners of land within 120 metres of the subject property. The notice provided information that a public meeting was scheduled for June 1, 2020.

Similarly, a sign was placed on the subject land notifying the general public that a public meeting was scheduled for June 1, 2020.

At the time of writing this report, no correspondence from the public has been received by the City regarding this application.

Staff and Agency Comments

External Agency Circulation

The subject application was circulated for comment to the Algonquin & Lakeshore Catholic School Board, the Hastings & Prince Edward District School Board, Hastings and Prince Edward Health Unit, Bell Canada, Canada Post, Ontario Power Generation, Union Gas, Elexicon Energy, Hydro One, TransCanada Pipeline, Enbridge Pipelines, Trans-Northern Pipelines, MPAC, Health Unit, and the City of Quinte West.

At the time of writing this report, no comments or concerns have been received regarding this application.

Internal Department Circulation

The subject application was circulated for comment to the Belleville Fire Department, Belleville Police Service, the General Manager of Transportation & Operations Department, General Manager of Environmental Services, the Director of Recreation, Culture and Community Services, the Manager of Parks & Open Spaces, the Chief Administrative Officer, the Manager of Economic & Strategic Initiatives, the City Clerk, the Accessibility Coordinator, the Manager of Approvals, the Development Engineer, the Chief Building Official, the Manager of Approvals, and the Accessibility Co-ordinator.

At the time of writing this report, no comments or concerns have been received regarding this application.

Considerations:**Public**

Circulation to the public complies with the requirements of the Planning Act, R.S.O. 1990.

Financial

The fees of the application have been received by the City.

Impact on and input from other Departments/Sources

Circulation of this application to other departments/agencies has occurred.

Strategic Plan Alignment

The City of Belleville's Strategic Plan identifies nine strategic themes including Industrial and Commercial Development. The strategic objectives of the Industrial and Commercial Development theme are:

- Ensure suitable serviced employment lands are available to meet the needs of all potential industrial and commercial investments
- Market the City's unique strengths to attract leading-edge industries that provide high paying job opportunities
- Encourage remediation and redevelopment of underutilized lands
- Support initiatives that create an available skilled labour force, including programs to retain youth in the community

Conclusion:

Comments received at this public meeting, as well as subsequent written comments will be considered by the Engineering and Development Services Department in analysis of the application received to amend the City of Belleville Loyalist Secondary Plan and Zoning By-Law 2076-80. A recommendation report will be brought forward upon receipt of all agency and public comments.

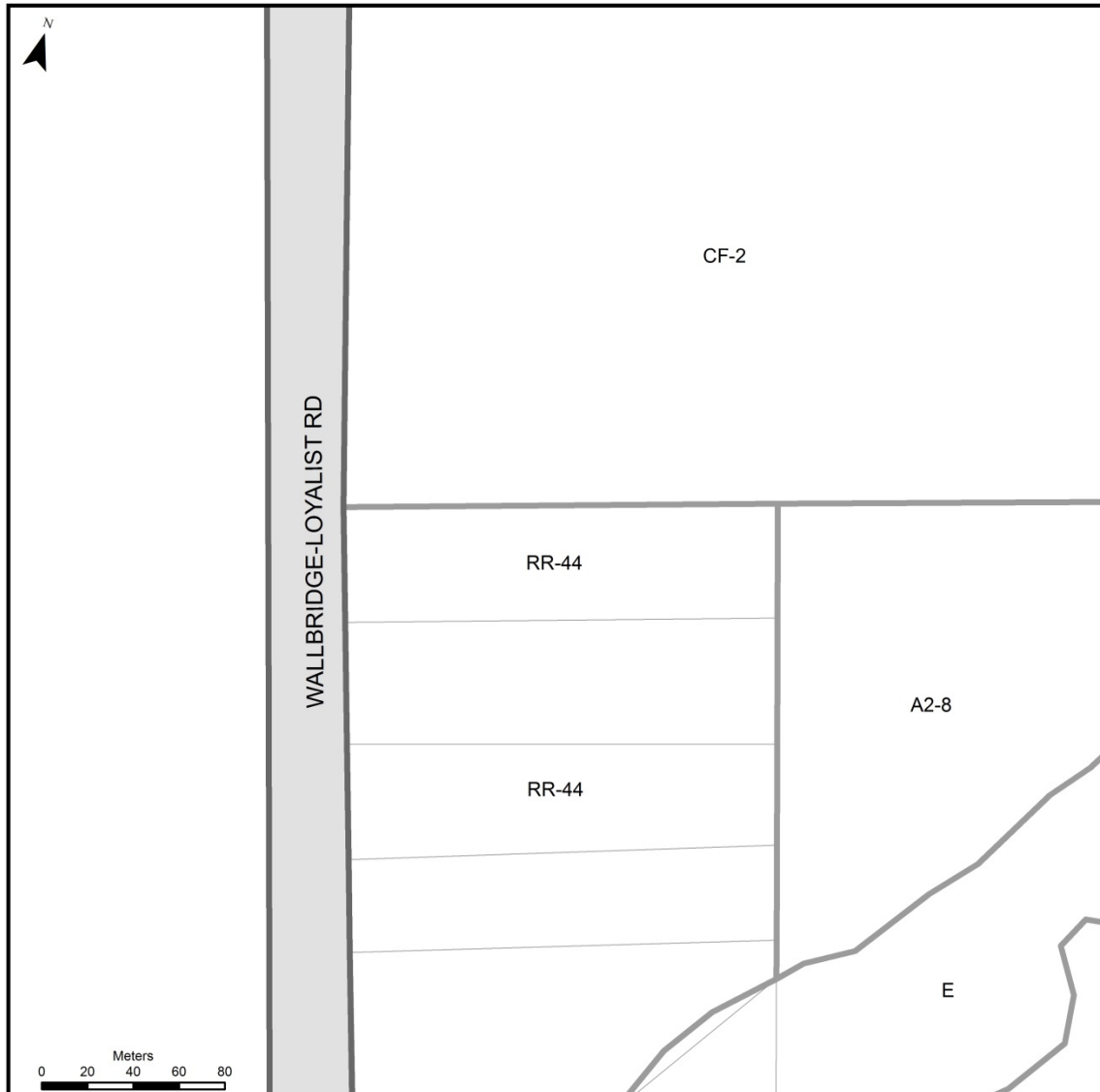
Respectfully submitted,



Andrew Chan, BES
Policy Planner, Policy Planning
Engineering and Development Services Department

Attachments

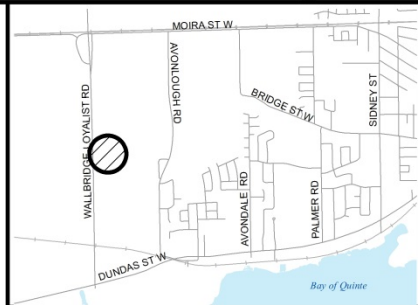
- Attachment #1 – Location and Existing Zoning Map
- Attachment #2 – Proposed Zoning Map
- Attachment #3 – Loyalist Secondary Plan Current Designation Map
- Attachment #4 – Loyalist Secondary Plan Proposed Designation Map
- Attachment #5 – Concept Site Plan
- Attachment #6 – Concept Building Plan
- Attachment #7 – Concept West Building Elevation
- Attachment #8 – Site Servicing Letter
- Attachment #9 – Traffic Impact Brief
- Attachment #10 – Planning Justification Report
- Attachment #11 – Proposed Official Plan Amendment
- Attachment #12 – Proposed Zoning By-Law Amendment
- Attachment #13 – Google Aerial Photo
- Attachment #14 – Google Street View Photo
- Attachment #15 – Plan of Survey R-Plan 21R-19789



LOCATION MAP EXISTING ZONING

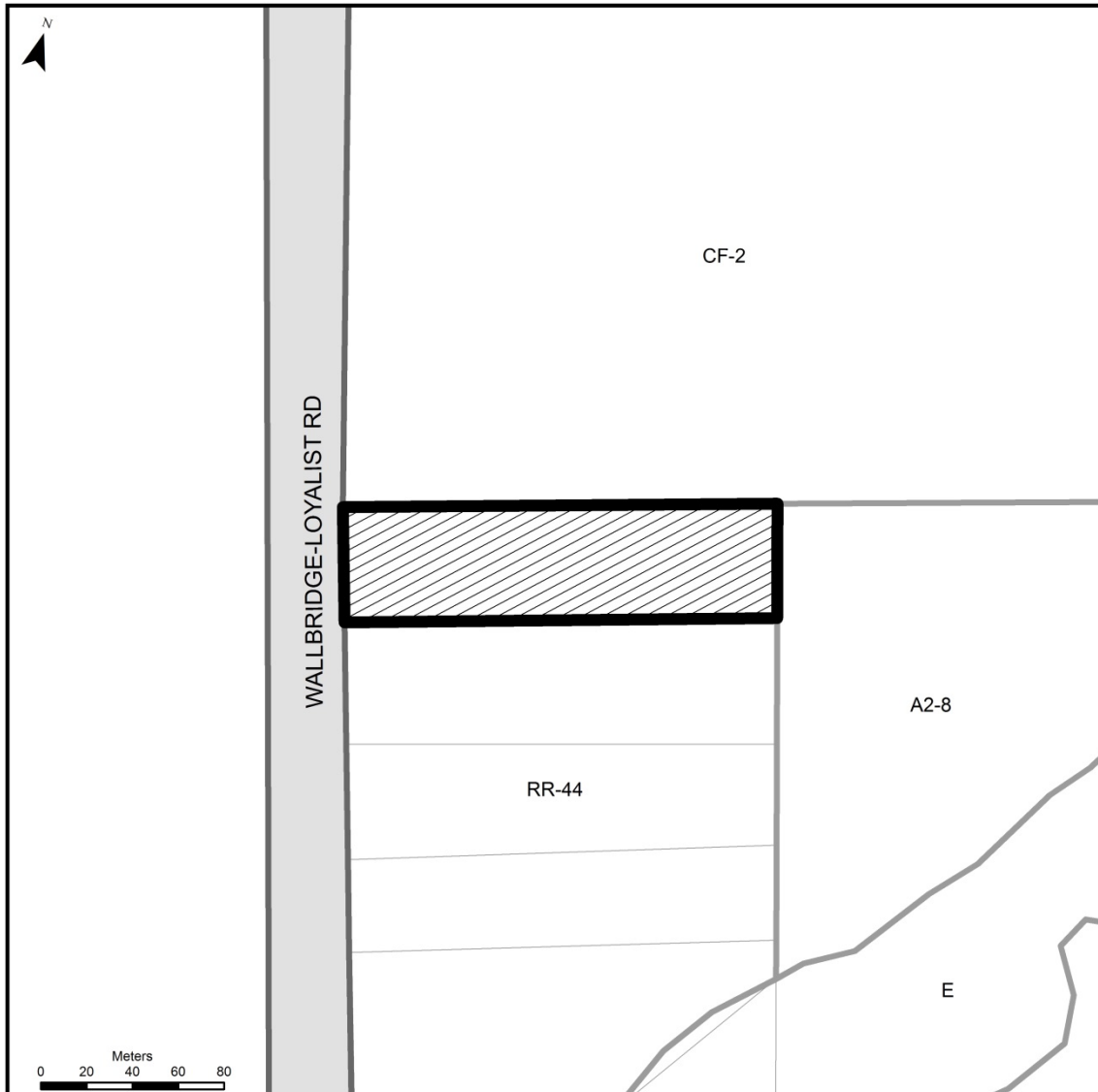
LOCATION: WALLBRIDGE-LOYALIST RD

 - SUBJECT LANDS




CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT
SERVICES DEPARTMENT


B-77-1108



PROPOSED ZONING BY-LAW AMENDMENT

LOCATION: WALLBRIDGE-LOYALIST RD

 - SUBJECT LANDS

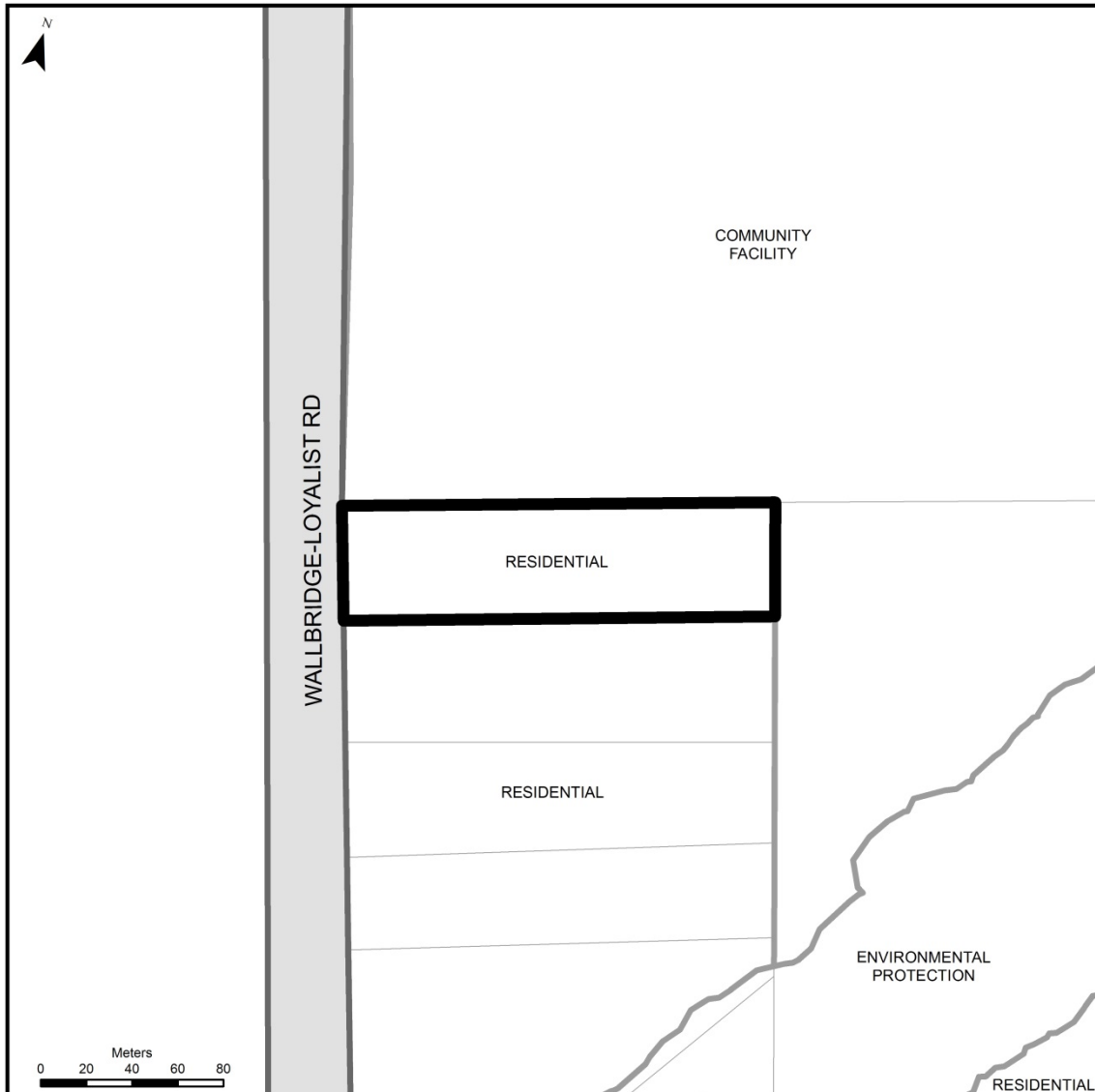
 - PROPOSED ZONING CHANGE TO CF
(COMMUNITY FACILITY)

B-77-1108

The inset map shows a street grid including Wallbridge-Loyalist Rd, Dundas St W, Avondale Rd, Palmer Rd, Bridge St W, and Sidney St. Other streets shown are Moirast W and Old Hydro Rd. The Bay of Quinte is visible at the bottom right. A circle on the map highlights the location of the subject lands.


CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT
SERVICES DEPARTMENT

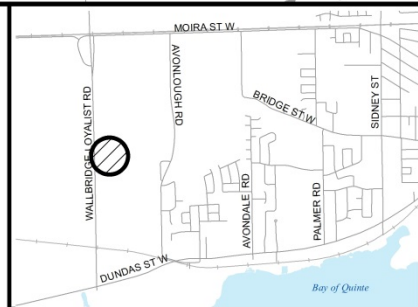
BELLEVILLE
on the Bay of Quinte



LOCATION MAP LAND USE

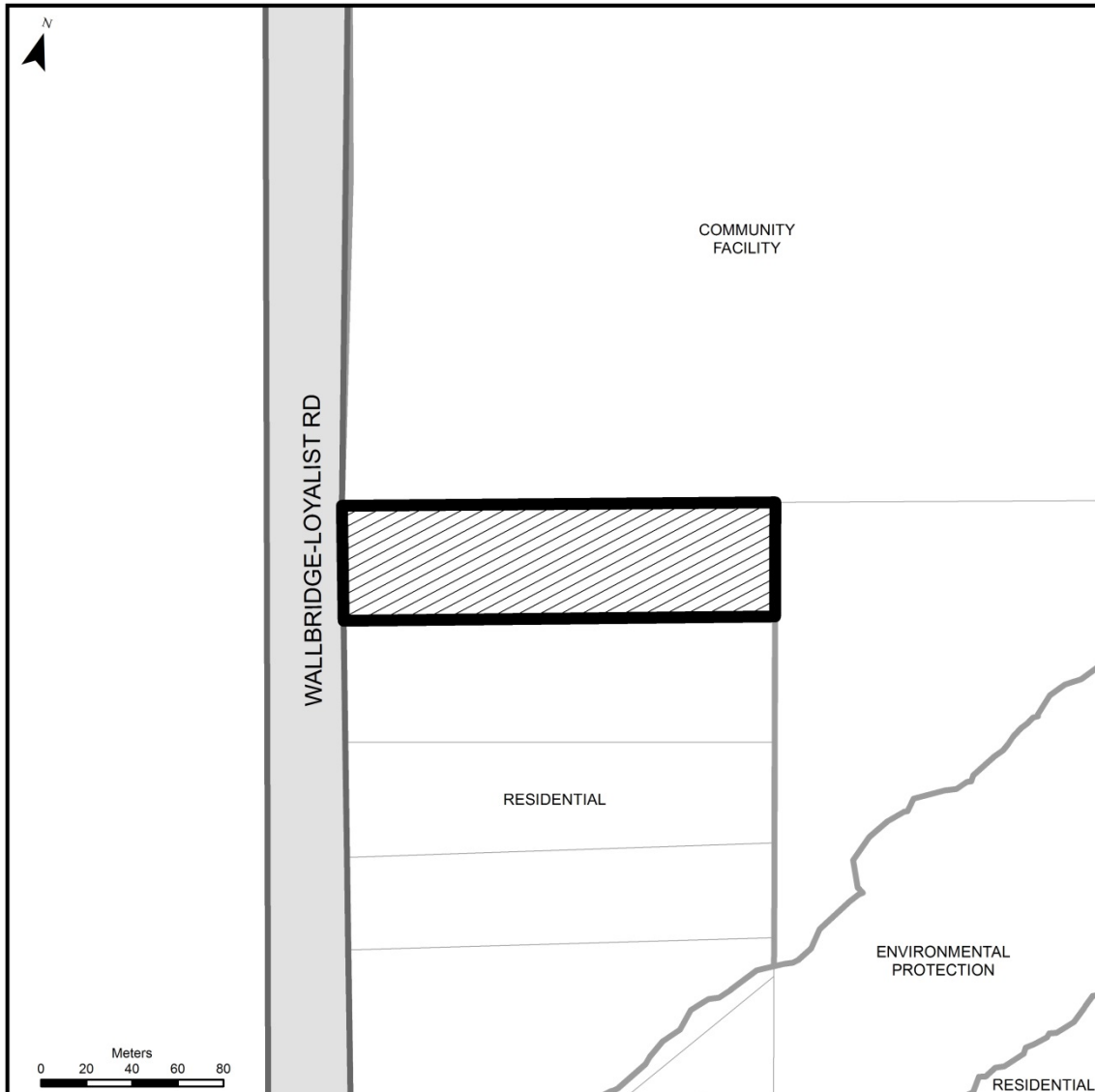
LOCATION: WALLBRIDGE-LOYALIST RD

 - SUBJECT LANDS



CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT
SERVICES DEPARTMENT

B-77-1108

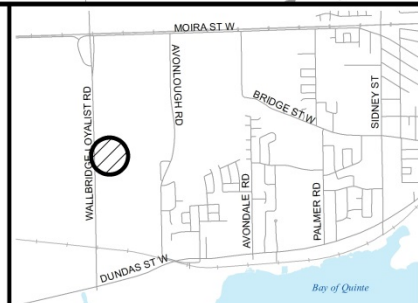


PROPOSED OFFICIAL PLAN AMENDMENT

LOCATION: WALLBRIDGE-LOYALIST RD



PROPOSED DESIGNATION CHANGE FROM RESIDENTIAL
LAND USE TO COMMUNITY FACILITY

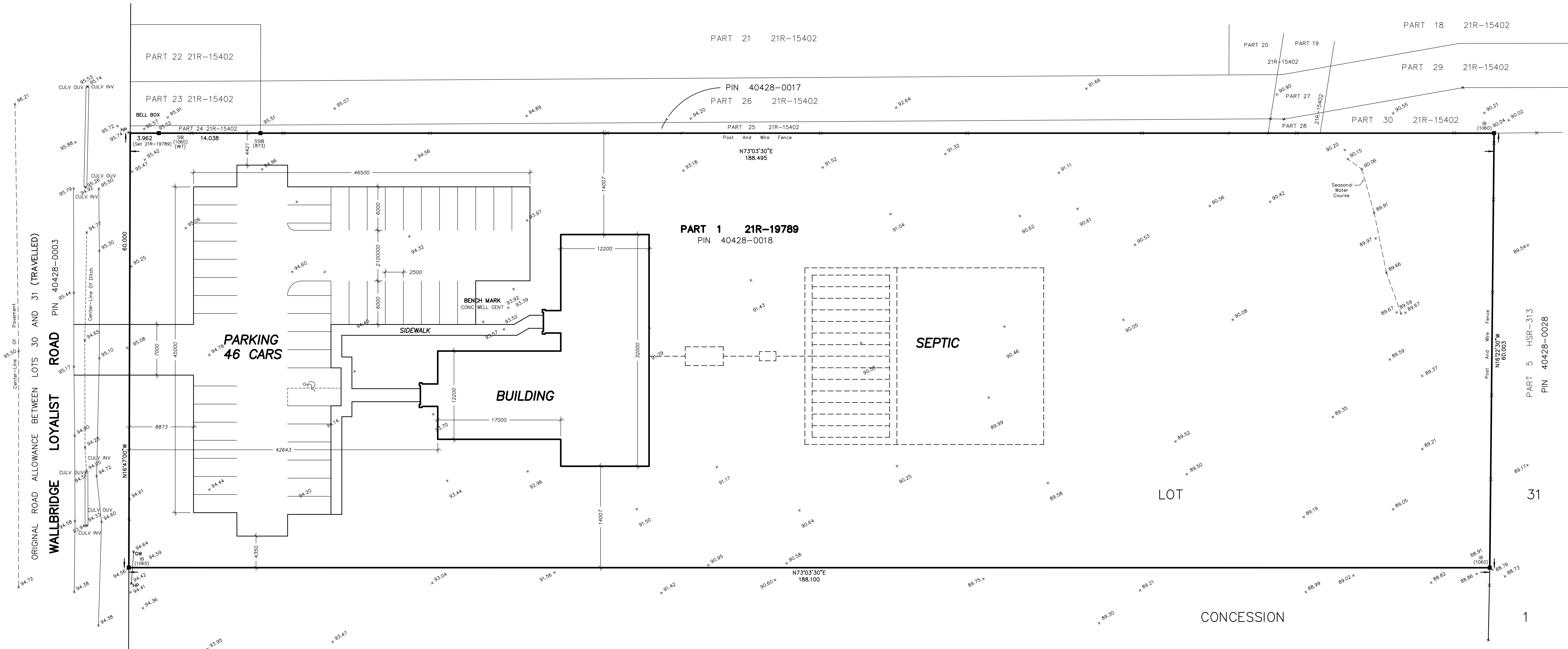


CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT
SERVICES DEPARTMENT

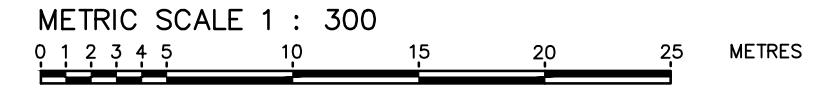
B-50-3-31

GENERAL NOTES

- UNLESS OTHERWISE NOTED ON THE DRAWINGS, THE FOLLOWING NOTES SHALL GOVERN.
- ALL WORK SHOULD COMPLY WITH ALL APPLICABLE CODES AND STANDARDS OF AUTHORITIES HAVING JURISDICTION OVER THE SITE.
- ALL CONSTRUCTION MUST CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE AND THE CONSTRUCTION SAFETY ACT.
- ALL FIELD DIMENSIONS AND INFORMATION TO BE VERIFIED ON SITE. CHECK ALL DIMENSIONS ON STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ENGINEER AND ARCHITECT BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE FROM DRAWINGS.
- SAFEGUARD ALL EXISTING STRUCTURES, SERVICES AND ADJACENT PROPERTY AFFECTED BY THIS CONSTRUCTION. TAKE SPECIAL CARE WHEN UNCOVERING EXISTING STRUCTURAL MEMBERS.



TOPOGRAPHIC SURVEY
 PART OF LOT 31
 CONCESSION 1
 TOWNSHIP OF SIDNEY
 CITY OF BELLEVILLE
 COUNTY OF HASTINGS
 METRIC SCALE 1 : 300
 WATSON LAND SURVEYORS



- LEGEND :**
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT PLANTED
 - SIB " STANDARD IRON BAR
 - SSIB " SHORT STANDARD IRON BAR
 - IB " IRON BAR
 - (873) " W. A. BENINGER O.L.S.
 - (1060) " WATSON LAND SURVEYORS LTD.
 - (WT) " WITNESS
 - HP " HYDRO POLE
 - GW " GUY WIRE
 - CULV " CULVERT
 - INV " INVERT
 - OUV " OBVERT

METRIC :
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES :
 THIS PLAN IS IN UTM GRID BEARINGS AND COORDINATES DERIVED BY REAL TIME NETWORK OBSERVATIONS UTM ZONE 18, NAD 83 (CGRS) 2010
 ELEVATIONS ARE GEODETIC AND ARE OBTAINED USING SURVEY GRADE GPS EQUIPMENT
 BENCH MARK - TOP OF CONCRETE WELL ELEVATION 93.92
 FIELD WORK COMPLETED NOVEMBER 20, 2019

CONCEPT SITE PLAN SCALE 1 : 300

| no. | description | date | by |
|-----|-----------------------------|------------|-----|
| | FOR REZONING APPLICATION | MAR. 25/20 | CJM |
| | REVISED TO OWNER'S COMMENTS | JAN. 26/20 | CJM |

Project
QUINTE BUSINESS DEVELOPMENT CENTRE INC. PROPOSED BUSINESS CENTRE
 WALLBRIDGE-LOYALIST ROAD, BELLEVILLE

Title
CONCEPT SITE PLAN

| | | | |
|------------|------------|---------|-------------------|
| drawn by | CJM | job no. | 19-48 |
| checked by | | date | DECEMBER 30, 2019 |
| codfile | 19-48-nlr1 | drg no. | S-1 |



CONCEPT BUILDING PLAN SCALE 1 : 75
 BUILDING AREA = 600 m²

GENERAL NOTES

- UNLESS OTHERWISE NOTED ON THE DRAWINGS, THE FOLLOWING NOTES SHALL GOVERN.
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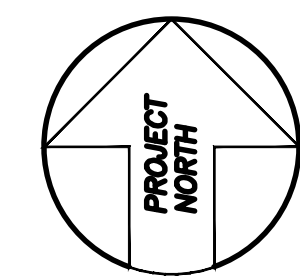
| no. | description | date | by |
|-----|-----------------------------|------------|-----|
| | FOR ZONING APPLICATION | MAR. 25/20 | CJM |
| | REVISED TO OWNER'S COMMENTS | JAN. 26/20 | CJM |

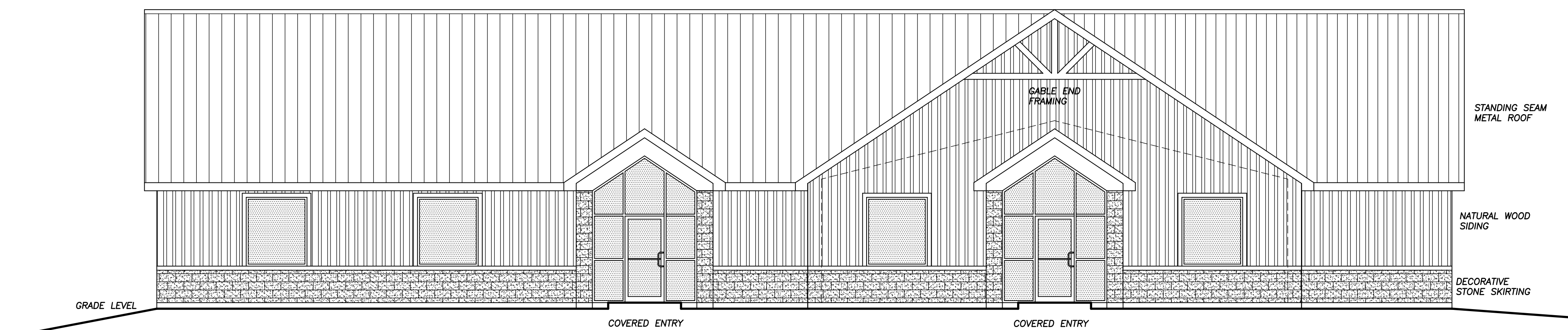
R. MORDEN
 ENGINEERING & CONTRACTING LTD.
 219 George Street, Belleville, On, K8N 3H5
 (613) 962-6191 FAX (613) 962-1052

Project
QUINTE BUSINESS DEVELOPMENT CENTRE INC.
PROPOSED BUSINESS CENTRE
 WALLBRIDGE-LOYALIST ROAD, BELLEVILLE

Title
CONCEPT BUILDING PLAN

| | | | |
|------------|-------------------|---------|----------------------|
| drawn by | CJM | job no. | 19-48 |
| checked by | | drg no. | |
| date | DECEMBER 30, 2019 | cadfile | 19-48-rwr1 |
| | | | A-1 Page 30/3 |





PROPOSED WEST ELEVATION SCALE 1 : 75

GENERAL NOTES

- UNLESS OTHERWISE NOTED ON THE DRAWINGS, THE FOLLOWING NOTES SHALL GOVERN.
- ALL WORK SHOULD COMPLY WITH ALL APPLICABLE CODES AND STANDARDS OF AUTHORITIES HAVING JURISDICTION OVER THE SITE.
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| no. | description | date | by |
|-----------|-----------------------------|------------|-----|
| | FOR ZONING APPLICATION | MAR. 25/20 | CJM |
| | REVISED TO OWNER'S COMMENTS | JAN. 26/20 | CJM |
| REVISIONS | | | |



Project
QUINTE BUSINESS DEVELOPMENT CENTRE INC.
PROPOSED BUSINESS CENTRE
 WALLBRIDGE-LOYALIST ROAD, BELLEVILLE

Title
CONCEPT WEST BUILDING ELEVATION

| | | | |
|------------|-------------------|---------|---------------|
| drawn by | CJM | job no. | 19-48 |
| checked by | | drg no. | A-2 |
| date | DECEMBER 30, 2019 | | |
| cadfile | 19-48-RWR1 | | Page 30 of 30 |



March 25, 2020

**Manager of Policy Planning
Engineering & Development Services Department**

City of Belleville
169 Front Street
Belleville, Ontario
K8N 2Y8

Re: Quinte Business Development Centre Inc.
Proposed Business Centre
Walbridge-Loyalist Road, Belleville, Ontario

Dear Manager of Policy Planning:

R. Morden Engineering & Contracting Ltd. has been retained by the property owners to develop conceptual site plan and building plan drawings for the rezoning application of this property. As part of our preliminary design work, we have physically examined the site, reviewed the existing Water Well Record, reviewed the municipal zoning requirements and reviewed the Ontario Building Code requirements. Subject to the normal process of Site Plan Review, it is my professional opinion that the proposed development can be adequately serviced by an on-site sewage system and well. It is also my professional opinion that the additional storm water flow generated by the development can be adequately controlled on-site so as to prevent any negative impacts on the surrounding properties.

I trust that this information is satisfactory. Please contact me directly should you have any further comments or questions.

Yours truly,
R. Morden Engineering & Contracting Ltd.

A handwritten signature in blue ink, appearing to read "Christopher J. Morden", is written over the typed name.

Christopher J. Morden, P.Eng.
Building Design Specialist

File: Ltr194803





March 24, 2020

**Quinte Business Development Centre Inc.
Proposed Business Centre
Walbridge-Loyalist Road
Belleville, Ontario**

TRAFFIC IMPACT BRIEF

1.0 Introduction

This report deals with the 1.130 ha. property identified as Part 1 of Registered Plan 21 R-19789 located immediately south of Loyalist College on Walbridge-Loyalist Road in Belleville. The owner, Quinte Business Development Centre Inc., plans to construct a one storey, office building not exceeding 600 m² in area. The building will be used for offices, meeting rooms, co-working space and a conference room.

2.0 Traffic Impact Brief Objective

The goal of this brief is to summarize the number of generated vehicle trips arriving at and leaving from from this proposed new facility. Based on the estimated results, an assessment regarding the impact of this development on the existing roadway capacity will be made.

3.0 Background Information

Walbridge-Loyalist Road is the boundary line between the City of Belleville and the City of Quinte West. The road is designated as a "major collector road" under Schedule "E" *Transportation and Trail System* in the City of Belleville Loyalist Secondary Plan and under Schedule "F" *Transportation* in the Quinte West Official Plan. The roadway fronting on the property has one (1) northbound lane and one (1) southbound lane. A southbound turning lane into Loyalist College begins to merge with the southbound through lane approximately 100 metres north of the property. The merge is complete along the frontage this property. Clear, unobstructed site lines to the north and south are provided at the proposed entrance location.

Signal lights control traffic flow at the intersection of Wall bridge-Loyalist Road and the main entrance to Loyalist College, located approximately 560m to the north, and at the intersection of Wallbridge-Loyalist Road and Dundas Street West located approximately 1.34 km to the south.

The Canadian Pacific Railway crossing located 935 meters to the south is equipped with lights and barrier arms. These devices also help to control northbound traffic flow which assists in providing safe access to and from the site.

The Sidney Township municipal zoning bylaw requires one parking space per of 30m² of gross building area. Based on a gross building area of 600m², twenty (20) parking spaces are required. Forty-six (46) parking spaces have been provided.

4.0 **Quinte Business Development Centre Inc.** Operation Details

The Quinte Business Development Centre provides operating space for four (4) separate agencies. These consist of Trenval Business Development, Bay of Quinte Economic Development Commission, BOC Business Financing and RBC Financial Services. These agencies all operate together to provide an integrated service platform for clients. The main business will be open from 8:30 AM to 4:30 PM from Monday to Friday. Additional meetings and functions will periodically be held in the evenings or on weekends.

There are 15 regular staff who will occupy the building. Five of the staff may daily leave and return to the building on a regular basis for meetings. Three of the staff meet with guests/clients. On a regular day, a total of 10 guests/clients may arrive for one hour meetings spread out evenly over the day.

On a weekly basis, three (3) workshops may be held at the facility. Each workshop may involve up to twenty (20) participants and take place during the morning (9AM to 12PM), afternoon (1PM to 4PM) or in the evening (after 5PM). The workshops would be spread out over the week.

On a monthly basis, *Fireside Chats* involving ten (10) people are held in the evening (after 5PM) and Business Events involving forty (40) people are also held in the evening (after 5PM). These events would not be held simultaneously.

Annually, a number of special events are expected to be held. Economic announcements and Pitch competitions for twenty to thirty (20-30) people may be held up to fourteen (14) times per year. These could be held in morning, afternoon or evening time periods. Industry Job Fairs or Partner Annual General Meetings for fifty to eighty (50-80) people may be held up to five (5) times per year. These events could be held in morning, afternoon or evening time periods. None of these annual events would be held at the same time as a regular monthly event.

5.0 Summary of **Quinte Business Development Centre Inc.** Generated Vehicle Trips

- Each employee generates two vehicle trips per day. One to arrive and one to leave.
- Total number of employee vehicle trips is 30 per day.
- Each meeting participant generates two vehicle trips per day. One to arrive and one to leave.
- Total number of meeting vehicle trips is 30 per day.
- Each workshop participant generates two vehicle trips per day. One to arrive and one to leave
- Total number of workshop vehicle trips is 40 per day
- Each regular monthly meeting participant generates two vehicle trips per day. One to arrive and one to leave.
- Total number of regular monthly meeting vehicle trips varies from 20 to 80 per day
- Each annual meeting participant generates two vehicle trips per day. One to arrive and one to leave
- Total number of annual meeting vehicle trips varies from 40 to 160 per day
- Staff will generally arrive at the building before it opens and leave the building after it closes. The guests/clients appointment times will generally be spread equally across the hours of operation. The monthly and annual meetings will happen during the morning, the



afternoon or the evening. Therefore the vehicle trips will be spread over the twelve hour time period from 8:00 AM to 8:00 PM

- The total maximum number of vehicle trips generated from the daily, weekly and monthly activities would be **180** vehicle trips over a 12 hour period or **15 cars per hour**. This would occur two to three days per month.
- The total maximum number of vehicle trips generated from the daily, weekly and annual activities would be **260** vehicle trips over a 12 hour period or **22 cars per hour**. This would occur five days per year

6.0 Total Number of Generated Vehicle Trips

- On an average week day, **100** vehicle trips are expected over a 12 hour period
- Approximately two to three days per month, **180** vehicle trips are expected over a 12 hour period.
- Approximately five days per year, **260** vehicle trips are expected over a 12 hour period.

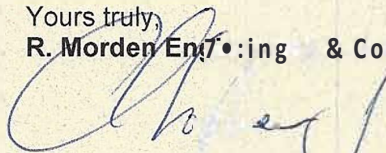
7.0 Conclusions

The Quinte Business Development Centre is currently located in the Pioneer Building at 2848 Walbridge-Loyalist Road. It has been at this location since December 1999. The vehicle trips currently created by their daily, weekly and monthly events currently exist and will simply be relocated to the new facility south of this existing location. The increased size of the new facility will allow them to hold larger annual events which are expected to occur five times a year. 260 vehicle trips potentially generating 22 cars per hour may result. The Loyalist Secondary Plan states in Section 5.1.3.c) that major collector roads typically carry up to 1,200 vehicles per peak hour. The vehicle trips generated by the Quinte Business Development Centre will make up approximately 1.8% of this total.

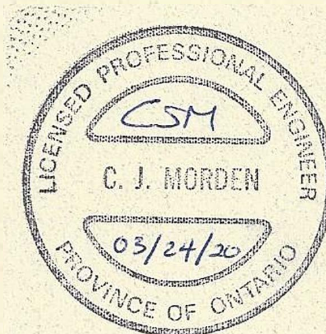
It is my professional opinion that the total number of generated vehicle trips from the proposed Business Centre for the Quinte Business Development Centre Inc. will have minimal impact on Walbridge-Loyalist Road. This major collector is road designed to handle large volumes of traffic. The signal lights at the main Loyalist College Entrance and at Dundas Street West create breaks in the traffic flow which will permit access to and from their new location. The nature of the business spreads the number of generated vehicle trips across a 12 hour period during the week days and does not significantly contribute to the morning and evening peak traffic volumes.

Yours truly,

R. Morden Engineering & Consulting



Christopher J. Morden, P.Eng.
Building Design Specialist



File; Traffic Impact Brief 19-48

PLANNING JUSTIFICATION REPORT

Trenval Business Office
Wallbridge-Loyalist Road
City of Belleville



Submitted By:

RFA Planning Consultant Inc.

202-211 Dundas Street East, Belleville, Ontario, K8N 1E2

APRIL, 2020



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1. INTRODUCTION

1.1 The Trenval Business Centre Project

RFA Planning Consultant Inc. was retained by the Trenval Business Development Corporation to provide professional planning services for the approval of a site-specific Official Plan Amendment and Zoning By-law Amendment for lands that the Corporation owns on the west side of Belleville. This Planning Justification Report has been prepared in support of these two amendments and the rezoning application that has been submitted to the City of Belleville.

The subject land is situated on the east side of Wallbridge-Loyalist Road immediately south of Loyalist College and has a lot frontage of 60 metres. This 1.13-hectare parcel of land is heavily treed and has been left undeveloped.

Trenval Business Development Corporation proposes to relocate their business operation from their current rented space in the Pioneer Building at Loyalist College and construct their own 600m² office building with offices, meeting rooms, co-working space, conference room and the potential to provide training space.

Trenval has been helping small business in the Belleville, Quinte West, Stirling-Rawdon, Tyendinaga Township, Tyendinaga and Deseronto region since 1987 and has invested more than \$36 million in small businesses impacting over 4,300 jobs through partner referrals, advisory services and investment resources.

1.2 Site Location & Context

Figure 1 – Location Map on the following page, shows the location of the subject property.

Legal Description:

The subject property is described as Part of Lot 31, Concession 1, more specifically described as Part 1 on Plan 21R-19789, formerly Township of Sidney, now City of Belleville.

Site Area and Frontage:

The site has an area of 1.13 hectares and has 60.0m of frontage on the east side of Wallbridge-Loyalist Road immediately south of Loyalist College. It is located within the designated urban area of Belleville and is currently vacant.



Figure 1: Location Map
Subject Property outlined in blue.

Surrounding Land Uses:

The surrounding land uses are indicated below:

- To the east: open space/land zoned agricultural;
- To the west: public open space/conservation area;
- To the south: rural residential (single detached dwelling);
- To the north: community college.

Site Context:

The site is located on the western boundary of the City of Belleville with Quinte West and is located within an area designated as “urban serviced area” in the City of Belleville Official Plan. As such, the subject property is located within an identified settlement area. Immediately abutting the subject property to the north is an extensive block of land designated as Community Facility and the location of Loyalist College.

PLANNING JUSTIFICATION REPORT
TRENVAL BUSINESS CENTRE

4

The property is vacant, treed covered and essentially flat. This property had been owned by the City of Belleville but in late 2019 was sold to the Trenval Business Development Corporation with the intention of re-locating their offices to this property.

The site is shown in the photos below.



Subject property looking north-east.



Subject Property looking to the south-east.

2. PROPOSED SITE AND BUILDING PLAN

Figure 2 – Concept Site Plan, on the following page, was prepared by R. Morden Engineering & Contracting Ltd., dated March 25, 2020 to indicate how it is proposed that the subject lands would be developed.

In looking at Figure 2 it is evident that only a relatively small portion of the subject property will be developed, and the largest use of this property will be to keep the existing natural vegetation. As already noted, the subject property is heavily vegetated, and the intent is to maintain as much of this vegetation as possible.

There will be one driveway from Wallbridge-Loyalist Road leading to a parking area for 46 vehicles. Sidewalks will lead to two entrances into the main building with the main entrance being on the south side of the building.

The proposed building has north and side yard setbacks of 14 metres and a front yard setback in excess of 42 metres. Thus, significant setbacks are provided to the abutting properties to the north and south and with the use of appropriate landscaping it will be relatively easy to mitigate any potential impact on these properties.

A private on-site septic system will be installed near the middle of the property and there already is a private well on this property. Stormwater will be kept on-site by means of swales and directed easterly to a retention area. There is more than adequate space on the subject lands for the required septic system and stormwater management facilities.

It is recognized that development of this site will be subject to formal site plan approval by the City pursuant to Section 41 of the Planning Act. At that time, the finer details of site development will be established and incorporated into a legally binding site plan agreement.

PLANNING JUSTIFICATION REPORT
TRENVAL BUSINESS CENTRE

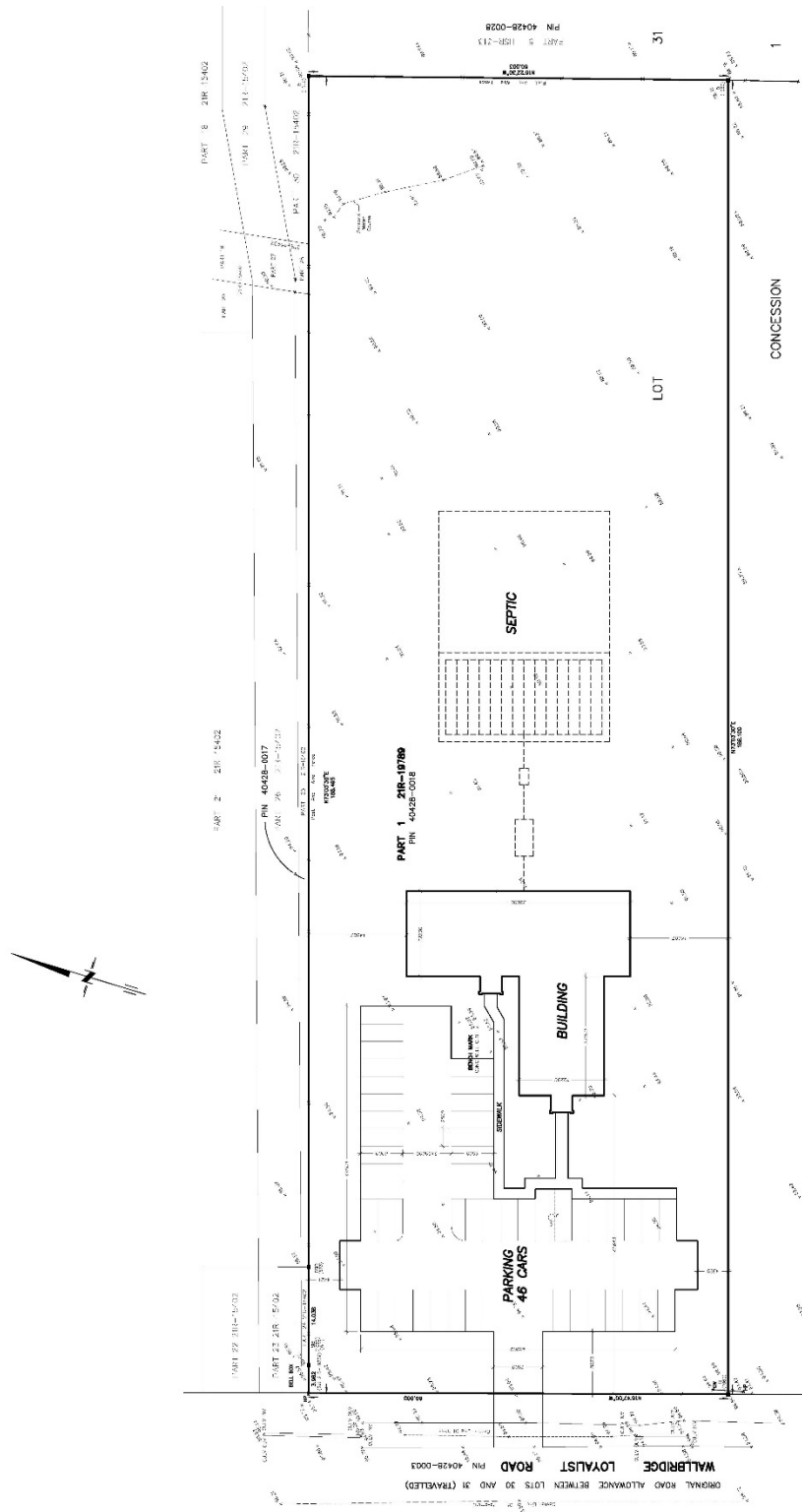


Figure 2: Concept Site Plan

PLANNING JUSTIFICATION REPORT
TRENVAL BUSINESS CENTRE

Figure 3 – Concept Building Plan prepared by R. Morden Engineering & Contracting Ltd., dated March 25, 2020 illustrates how the proposed 600m² office building on the subject lands would function.



CONCEPT BUILDING PLAN SCALE 1 : 75

BUILDING AREA = 600 m²

Figure 3: Concept Building Plan

In looking at Figure 3 on the previous page, the various proposed uses of the proposed building on the subject property are outlined. The southern end of the building will lead from the main entrance and main reception area to a range of offices and meeting rooms for Trenval and its partner agencies. On the northern end of the building is a large space for co-working and a conference room. This part of the building can be accessed from a second entrance.

As noted previously, this layout allows Trenval to provide a wide range of services as a federally supported, not-for-profit Community Futures Development Corporation, committed to helping to develop and diversify the local economy through community strategic planning, business information, counselling and investment in small business.

Figure 4 – Concept West Building Elevation prepared by R. Morden Engineering & Contracting Ltd., dated December 30, 2019 indicates how the proposed office building would appear when viewed from Wallbridge-Loyalist Road.



Figure 4: Concept West Building Elevation

It is proposed that the new building would have a metal roof with natural wood siding and a decorative stone skirting. The goal is to have this building blend in with its natural surroundings and the existing trees found on this parcel of land.

3. TECHNICAL SUPPORT LETTERS FOR THE TRENVAL BUSINESS CENTRE PROJECT

Related technical letters have been prepared to address the following components of the Trenval Business Centre project:

- Site Servicing Letter dated March 25, 2020 prepared by R. Morden Engineering & Contracting Ltd;
- Traffic Impact Brief dated March 24, 2020 prepared by R. Morden Engineering & Contracting Ltd;

These reports have been submitted under separate cover. The following is a synopsis of the letter and recommendations.

3.1 Traffic Review

The projected traffic generation from the future use of the subject lands can be easily handled by Wallbridge-Loyalist Road which is designated as a major arterial road by both the City of Belleville and the Municipality of Quinte West. Furthermore, this development proposal in effect is simply re-locating this business activity from the Pioneer Building at Loyalist College approximately 230 metres to the south to a new building.

3.2 Servicing Brief

The subject property is sufficiently large enough while taking into consideration of the proposed use, that a private on-site well and private on-site septic system can be installed that would meet all the requirements of the Ontario Building Code and all other regulatory organizations.

3.3 Stormwater Management Report

Stormwater will be captured and controlled on-site without an impact on abutting properties using swales, lot grading and retention facilities. A high proportion of the subject property will be left in its natural state to assist with natural stormwater management.

4. PROVINCIAL POLICY STATEMENT

Provincial Policy Statement (PPS) 2020 will take effect on May 1, 2020. In accordance with Section 3 of the Planning Act, all decisions affecting land use planning matters made after May 1, 2020, shall be consistent with the PPS 2020.

As a result, given current timelines, it is felt that it is more appropriate to review the current development proposal in terms of PPS 2020 than PPS 2014 which will shortly be replaced.

The application to amend the policies of both the Loyalist Secondary Plan and Zoning By-Law 2076-80 as they pertain to the subject lands are consistent with the PPS as outlined on Chart 1 below.

Chart 1: Provincial Policy Statement and Analysis

| PPS POLICY | PLANNING ANALYSIS |
|---|---|
| 1.1.3 Settlement Areas | |
| 1.1.3.1 Settlement areas shall be the focus of growth and development. | The subject property is identified on Schedule "B" of the Bellville Official Plan as being in the Urban Serviced Area. |
| 1.1.3.2 Land use patterns within settlement areas shall be based on densities and a mix of land uses which: a) support active transportation; b) are transit-supportive, where transit is planned, exists or may be developed; and | The subject land is on a Municipal bus route with connections to the rest of the urban area. The subject property is immediately adjacent to Loyalist College allowing for easy connectivity through walking and biking between buildings. |
| 1.3 Employment | |
| 1.3.1 Planning authorities shall promote economic development and competitiveness by: a) providing for an appropriate mix and range of employment, institutional, and broader mixed uses to meet long-term needs; b) providing opportunities for a diversified economic base, including maintaining a range and choice of suitable sites for employment uses which support a | The mandate of Trenval is to help develop and diversify the local economy through community strategic planning, business information, counselling, and investment in small business. As designed, Trenval was created to assist in implementing and achieving the goals of Policy 1.3.1 of the PPS. The subject lands provide the opportunity for Trenval to do this. |

| | |
|---|---|
| <p>wide range of economic activities and ancillary uses, and take into account the needs of existing and future businesses;</p> <p>c) facilitating the conditions for economic investment by identifying strategic sites for investment, monitoring the availability and suitability of employment sites, including market-ready sites, and seeking to address potential barriers to investment;</p> | |
| <p>1.3 Sewage, Water and Stormwater</p> | |
| <p>1.6.6.4 Where municipal sewage services and municipal water services or private communal sewage services and private communal water services are not available, planned or feasible, <u>individual on-site sewage services and individual on-site water services may be used</u> provided that site conditions are suitable for the long-term provision of such services with no negative impacts. In settlement areas, individual on-site sewage services and individual on-site water services may be used for <u>infilling</u> and minor rounding out of existing development.</p> | <p>The subject lands are situated in a location where it is not technically or economically feasible to connect to municipal services.</p> <p>The subject lands are large enough with plenty of room to accommodate an on-site septic system and water service.</p> |
| <p>1.6.6.7 Planning for stormwater management shall:</p> <p>a) be integrated with planning for sewage and water services and ensure that systems are optimized, feasible and financially viable over the long term;</p> <p>c) minimize erosion and changes in water balance, and prepare for the impacts of a changing climate through the effective management of stormwater, including the use of green infrastructure;</p> | <p>There is enough space on the subject lands to provide for on-site stormwater management and to maximize the use of existing vegetation and ground cover to promote infiltration.</p> |

| | |
|--|---|
| e) maximize the extent and function of vegetative and pervious surfaces; and | |
| 1.7 Long-Term Economic Prosperity | |
| <p>1.7.1 Long-term economic prosperity should be supported by:</p> <p>a) promoting opportunities for economic development and community investment-readiness;</p> | <p>As noted above under Policy 1.3, the mandate of Trenval is to help develop and diversify the local economy through community strategic planning, business information, counselling and investment in small business.</p> |

5. CONFORMITY TO THE POLICIES OF THE LOYALIST SECONDARY PLAN

The subject lands are currently designated “Residential” on Schedule “A” - Land Use of the Loyalist Secondary Plan as shown on Figure 5 below while Wallbridge-Loyalist Road is designated as a major arterial road.

It is proposed to re-designate the subject lands “Community Facility” by means of an Official Plan Amendment (OPA) to permit a 600m² office building with offices, meeting rooms, co-working space, conference room and the potential to provide training space.

As can be seen on Figure 5, the subject lands are located at the transition point between lands designated “residential” to the south and lands designated “community facility” to the north and east. As such, the subject lands are contiguous with lands designated community facility and the OPA in effect is a minor boundary adjustment.



**Figure 5: Schedule “A” – Land Use of the Loyalist Secondary Plan
Subject Property Outlined in Black**

The following chart demonstrates how the proposal is consistent with the Loyalist Secondary Plan.

Chart 2: Loyalist Secondary Plan and Analysis

| LOYALIST SECONDARY PLAN POLICIES | PLANNING ANALYSIS |
|---|--|
| 2.2 Purpose of the Loyalist Secondary Plan | |
| <p>It is the intent of this Secondary Plan that the Loyalist Planning Area be serviced by full municipal sanitary sewage, water supply and other utility systems. However, in light of the servicing limitations for this area, some limited forms of development may be permitted without access to full services, such as space extensive uses (being non-residential uses that require or have a large land base with comparatively small development footprints and which have limited service demands that can be managed on-site). <u>Further, such form of servicing shall only be accepted in areas that are not intended to be fully serviced for some time.</u></p> | <p>Because of topography and current land uses along Wallbridge-Loyalist Road it is not technically or economically feasible to service this relatively small parcel of land with Municipal services now or in the foreseeable future.</p> <p>In addition, the property can be serviced with private on-site services easily and without issues.</p> |
| 3.3 Community Facility | |
| <p>3.3.1 Permitted Uses</p> <p>Uses permitted in the various areas designated Community Facility should be defined according to:</p> <ul style="list-style-type: none"> • the function for which the area is designated; • the nature of access to the subject lands; • the servicing limitations of the subject lands; and • the nature of adjoining lands uses and the potential for land use conflict. | <p>The subject lands are immediately adjacent to lands currently designated Community Facility and the proposed use of the property is intended to complement the function and activities on-going and planned for Loyalist College.</p> <p>Access to the property will be by one driveway from a straight and unimpeded section of a major arterial road.</p> <p>Only a small portion of the subject lands are to be developed and most of the land will be left in its natural state. This natural landscaping, consisting</p> |

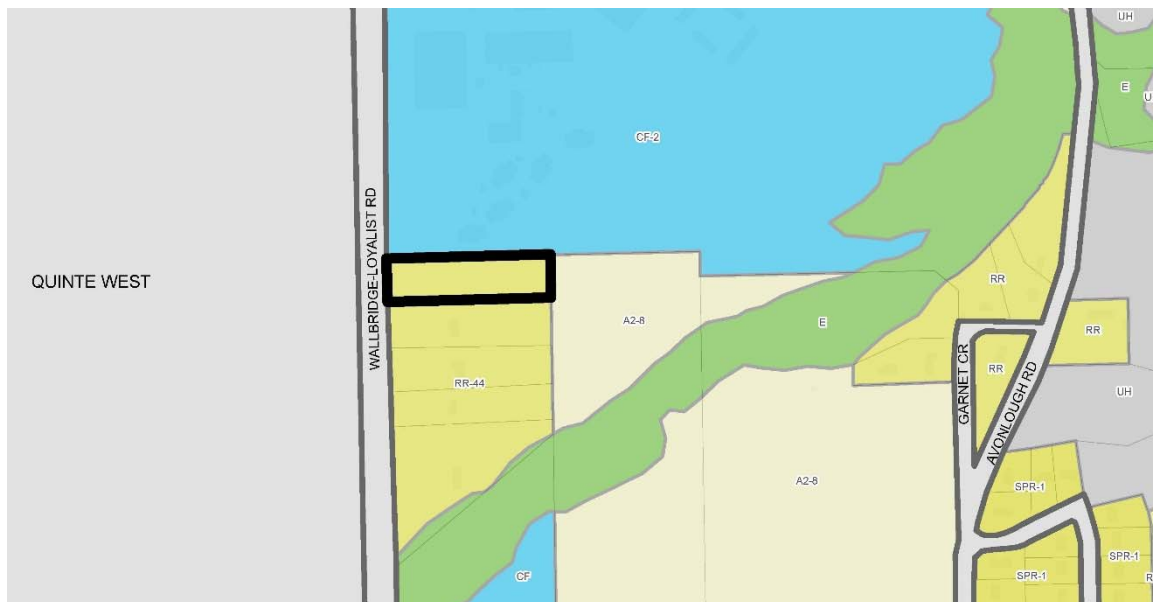
| | |
|---|--|
| | <p>of heavy tree cover will provide significant buffering to adjacent properties both visually and acoustically.</p> |
| <p>3.3.2 Policies</p> <p>a) Development of the majority of institutional or public facility uses is dependent upon vehicular access to function properly. Points of ingress and egress should be established to ensure safe movement of:</p> <ul style="list-style-type: none"> • vehicular traffic on the public street; • vehicular traffic on the subject and adjoining lands; and • pedestrian and cyclist traffic along the street. <p>b) Further, such uses should have sufficient parking on-site but a reduced parking standard may be applied where there is sufficient parking off-site to address the needs of such establishments during peak usage periods.</p> <p>c) This Plan encourages the joint or multiple use of community facilities to provide the most efficient and effective use of physical resources in the community. This Plan also encourages grouping of community facilities to maximize use of related services and to provide convenience to the public.</p> <p>d) The visual appearance of all parking lots and service areas</p> | <p>As noted, the subject property will only have one vehicular entrance and most likely pedestrian access to the abutting property to the north.</p> <p>The forecasted use of the subject property in terms of traffic generation has been examined and evaluated and the safe movement of traffic onto and off the subject property and along Wallbridge-Loyalist Road will not be compromised.</p> <p>More than sufficient on-site parking is being provided with the ability to provide additional parking if required.</p> <p>The major reason for proposing the relocation of the Trenval business office immediately south of Loyalist College is to maintain and enhance the synergies between these two facilities. To work collaboratively and as a service to the public.</p> <p>It is the intent to prepare a landscape plan that enhances and incorporates</p> |

| | |
|--|---|
| <p>should be enhanced through appropriate landscaping. Appropriate lighting of such areas is required to ensure public safety; lighting should be oriented however away from nearby residential properties and from interfering with visibility on public streets.</p> <p>e) Parking lots, service areas and outdoor activity areas should be located so as to minimize the effects of noise and fumes on nearby residential properties. Measures to mitigate the impact of such facilities on adjoining residential areas by fencing or plantings, berming and buffer strips, or increased setbacks should be employed as required.</p> | <p>the existing natural vegetation found on the subject lands.</p> <p>The approved site plan for the subject lands will incorporate appropriate and suitable lighting to minimize any impact on adjacent properties.</p> <p>The proposed use of the subject property limits development to a small portion of the subject lands and to the west end of the property.</p> <p>The intent is to maintain as much of the existing on-site vegetation as possible to mitigate any potential impacts on adjacent properties.</p> |
| <p>4.7 Education Facilities</p> | |
| <p>c) Loyalist College is a critical part of the educational system within the community. This Plan encourages the growth and expansion of the College to:</p> <ul style="list-style-type: none"> • expand the range of educational programs to meet the needs of the community; • establish services and programs as needed to meet the needs of local industry and commerce; and • develop innovative ways of expanding the range of services (i.e. student housing) and business ventures (i.e. technology park) to strengthen the College and increase its importance as an important post-secondary educational facility in the Province of Ontario. | <p>This request to relocate the Trenval office from its current location within a building on the Loyalist College campus to its own independent building immediately south of the College is proposed to maintain the long-established link with the college while allowing for the future expansion of both operations.</p> <p>There is the ability to work cooperatively to partner the training and research services provided by the college with new and emerging small businesses who are looking for assistance in starting up.</p> |

6. ZONING BY-LAW #2076-80 ANALYSIS

The subject property is currently placed within the “RR-44 – Rural Residential Exception No. 44” Zone on Schedule “B-1”, Map #1 of Zoning By-Law Number 2076-80, as amended. A rezoning of the subject lands to the “CF – Community Facility” Zone has been requested.

As can be seen on Figure 6 below, the subject lands are located at the transition point between lands designated “residential” (RR-44 Zone) to the south and lands designated “community facility” (CF-2 Zone) to the north. As such, the subject lands are contiguous with lands already zoned community facility and the zoning by-law amendment could be considered a minor boundary adjustment.



**Figure 6: Proposed Amendment to Zoning By-Law 2076-80
Subject Property Outlined in Black**

The “CF” zone permits a range of community uses including a Government Administration Building, Meeting Hall, Public Facility and Public Use.

"Public Facility" is defined as “a building or part of a building used for a non-commercial purpose by any organized body, religious group and/or society such as a hospital, a library, a convent and/or a similar use”. Trenval is a not-for-profit organization set up to serve the general public and supported by the three levels of government working in partnership.

The proposed rezoning would be in accordance with the development standards found in Part U – CF – Community Facility Zone of Zoning By-law 2076-80 as

outlined on Table 1 below. As can be seen in almost all cases the proposed site plan would have standards that far exceed the City's requirements.

Table 1: CF Zone Analysis – Public Facility

| <i>Zoning Regulations</i> | <i>CF Zone</i> | <i>Proposed</i> |
|--|----------------|----------------------|
| Minimum Lot Frontage | n/a | 15 m |
| Minimum Lot Area | n/a | 1,027 m ² |
| Minimum Front Yard Depth | 7.5 m | 42.6 m |
| Minimum Interior Side Yard Depth | 7.5 m | 14.0 m |
| Minimum Rear Yard Depth | 7.5 m | 116.2 m |
| Maximum Lot Coverage | 35% | 19.5% |
| Maximum Height | n/a | 11 m |
| Minimum Landscaped Open Space | n/a | 76.5% |
| Minimum Parking - 1 Space per 30m ² of gross floor area | 20 | 46 |

7. PLANNING OPINION AND CONCLUSION

This Planning Report was prepared in support of an application by Trenval Business Development Corporation for an Official Plan Amendment and Zoning By-law Amendment for a parcel of land situated on the east side of Wallbridge-Loyalist Road immediately south of Loyalist College and has a lot frontage of 60 metres. This 1.13-hectare parcel of land is heavily treed and has been left undeveloped. It is proposed that this property will be developed with a 600m² office building with offices, meeting rooms, co-working space, conference room and the potential to provide training space.

As such, it is our professional opinion that the application for approval of an Official Plan Amendment and Zoning By-law Amendment for the subject lands is:

- consistent with the policies of the 2020 Provincial Policy Statement;
- consistent with the policies contained in the Loyalist Secondary Plan;
- in conformity with the CF Zone requirements of Zoning By-law 2076-80, and;
- represents good planning.

8. REPORT SIGNATURE

Yours truly,



Spencer Hutchison, MCIP, RPP
Senior Associate Planner



RFA Planning Consultant Inc.

Encl.

OFFICIAL PLAN
OF THE
CITY OF BELLEVILLE
AMENDMENT NO. xx

The explanatory text, and map schedules, constituting Amendment No. xx to the Official Plan of the City of Belleville was prepared by the City of Belleville Planning Advisory Committee.

Chairman

Secretary

This Amendment was adopted by The Corporation of the City of Belleville by By-Law Number 2020-xx in accordance with Section 21 of The Planning Act, R.S.O. 1990, on the xxth day of June, 2020.

Mayor

City Clerk

THE CORPORATION OF THE CITY OF BELLEVILLE**BY-LAW NUMBER 2020-xx****A BY-LAW TO APPROVE AN AMENDMENT TO THE OFFICIAL PLAN OF THE CITY OF BELLEVILLE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 21 OF THE PLANNING ACT, R.S.O. 1990**

THE COUNCIL OF THE CORPORATION OF THE CITY OF BELLEVILLE, IN ACCORDANCE WITH THE PROVISIONS OF SECTION 21 OF THE PLANNING ACT, R.S.O. 1990 HEREBY ENACTS AS FOLLOWS:

1. Amendment No. xx to the Official Plan of the City of Belleville, consisting of an explanatory text, and attached sketch, is hereby adopted.
2. This By-Law shall come into force and take effect on the day of the final passing thereof provided that no notice of appeal is received within twenty (20) days of the giving of written notice of Council's adoption of Amendment No. xx.

ENACTED AND PASSED THIS xxth DAY OF JUNE, 2020

Read a first time this xxth day of June, 2020.

Read a second time this xxth day of June, 2020.

Read a third time and finally passed this xxth day of June, 2020.

(Sgd.) Mitch Panciuk
MITCH PANCIUK MAYOR

(Sgd.) Matt MacDonald
MATT MACDONALD CITY CLERK

Amendment No. XX to the Official Plan of the City of Belleville

PART "A" - PREAMBLE

I Title

The Title of the Amendment is "Amendment No. XX to the Official Plan of the City of Belleville", hereinafter referred to as the "Amendment".

II Relative Parts

Part "A" - PREAMBLE is intended only to provide the background for Part "B".

PART "B" - of this document constitutes Amendment No. XX and is comprised of the following sections:

1. Land Use Plan
2. Statement of Policy

PART "C" - of this document contains the following appendices:

- | | | |
|--------------|---|--|
| APPENDIX I | - | Location Map |
| APPENDIX II | - | Planning Staff Report dated June xx, 2020 |
| APPENDIX III | - | Excerpt of Minutes of the Public Meeting held by the Belleville City Council Planning Committee on June xx, 2020 |
| APPENDIX IV | - | Excerpt of Minutes of the Regular Meeting of the Belleville Planning Advisory Committee held on June xx, 2020 |
| APPENDIX V | - | Circulation letters dated June xx, 2020 |

- 2 -

PART "A" – PREAMBLE**II Relative Parts****PART "C"** (Cont'd)

APPENDIX VI - Comments received from:

- XX
- XX

III Location of the Amendment

This Amendment No. XX applies to, Part of Lot 31, Concession 1, formerly the Township of Sidney, more specifically known as Part 1 on Plan 21R-19789, located on the east side of Wallbridge-Loyalist Road in the City of Belleville.

IV Purpose of the Amendment

The purpose of the Official Plan Amendment is to redesignate approximately 1.13 hectares of land from "Commercial" to "Residential" to permit the construction of a 600m² office building with offices, meeting rooms, co-working space, conference room and the potential to provide training space.

V Basis of the Amendment

This Amendment No. XX was initiated by the property owner, Trenval Business Development Corporation. It is in conformity with the Provincial Policy Statement, 2020 and policies contained in the City of Belleville Official Plan.

- 3 -

PART "B" - THE AMENDMENT

The whole of this Part "B", which consists of the following text and attached sketches, constitutes "Amendment No. XX" to the Official Plan of the City of Belleville.

The Official Plan of the City of Belleville is hereby amended as follows:

1. Land Use Plan

a) Schedule 'A' of the Loyalist Secondary Plan entitled "Land Use" is amended as follows:

- i) the designation of the subject site as shaded in red on the attached sketch (Appendix 1) shall be changed from "Residential Land Use" to "Community Facility Land Use"

2. Statement of Policy

It is in conformity with the Provincial Policy Statement, 2020 and the policies contained within the City of Belleville Official Plan.

3. Implementation

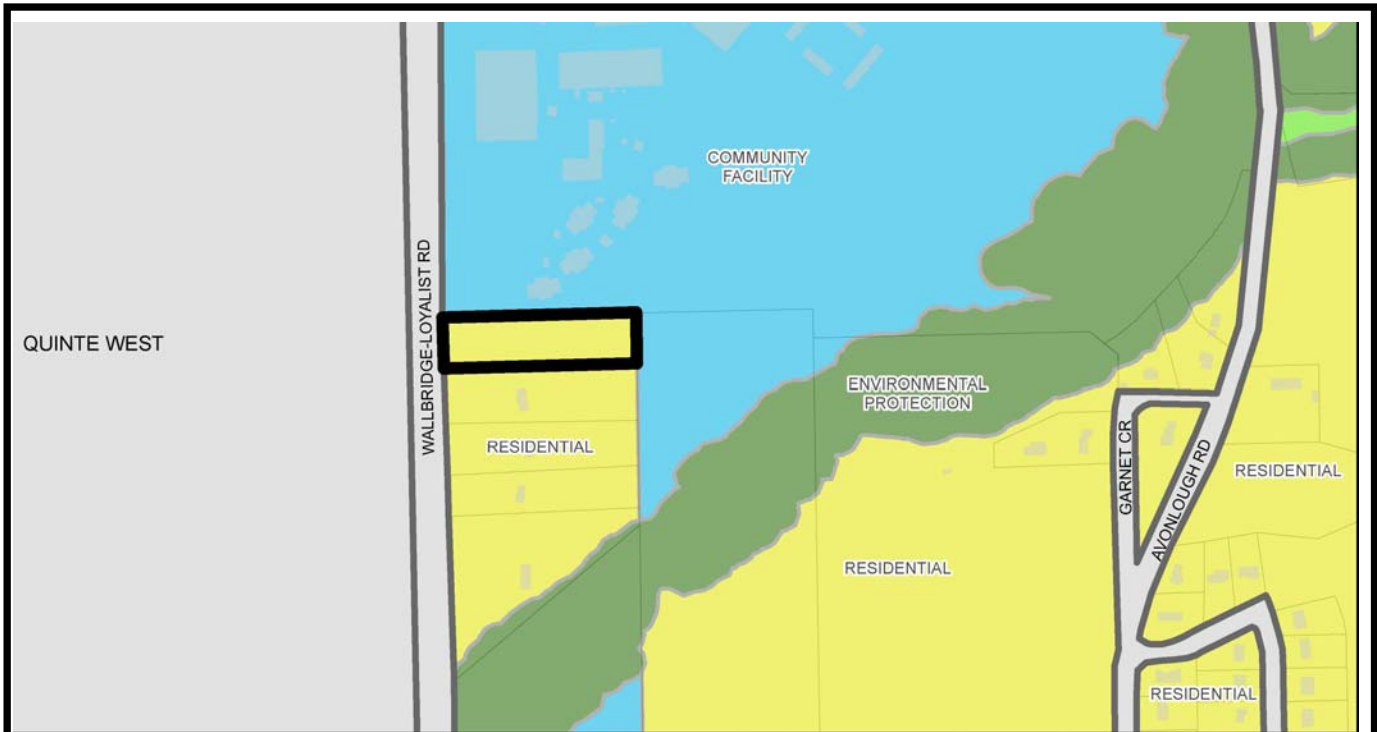
The Council of The Corporation of the City of Belleville shall enact an appropriate Zoning By-Law pursuant to Section 34 of The Planning Act, R.S.O. 1990.

4. Interpretation

The provisions of the Official Plan, as amended from time to time regarding the interpretation of the Plan, shall apply in regard to this Amendment No. XX.

PART "C"

APPENDIX 1



OFFICIAL PLAN MAP

APPENDIX 1 TO BY-LAW 2020-xx

LOCATION: Part of Lot 31, Concession 1, formerly the Township of Sidney, more specifically known as Part 1 on Plan 21R-19789



Official Plan designation change from 'Residential' to "Community Facility"



CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT SERVICES DEPARTMENT

B-50-3-28

**THE CORPORATION OF THE CITY OF BELLEVILLE
BY-LAW NUMBER 2020-____**

**A BY-LAW TO AMEND BY-LAW NUMBER 2076-80, BEING A BY-LAW TO
REGULATE THE USE OF LAND AND THE HEIGHT, BULK, LOCATION, SIZE,
FLOOR AREA, SPACING, CHARACTER AND USE OF BUILDINGS**

THE COUNCIL OF THE CORPORATION OF THE CITY OF BELLEVILLE ENACTS AS
FOLLOWS:

1. THAT Schedule "B-1", Map #1 to By-Law Number 2076-80, as amended, shall be and the same is hereby amended by rezoning the lands described as Part of Lot 31, Concession 1, more specifically described as Part 1 on Plan 21R-19789, formerly Township of Sidney, now City of Belleville, County of Hastings, from the "RR-44 – Rural Residential Exception No. 44 Zone" to the "CF – Community Facility Zone" as shown on the rezoning map attached hereto as Appendix 1.
2. THIS By-Law shall come into force and take effect on the day of passing thereof provided no notice of appeal is filed pursuant to the provisions of the Planning Act, R.S.O. 1990, as amended. In the event that an appeal is filed, this By-Law shall come into force and take effect in accordance with the provisions of the Planning Act, R.S.O. 1990.

Read a first time this **xxth** day of **June, 2020**.

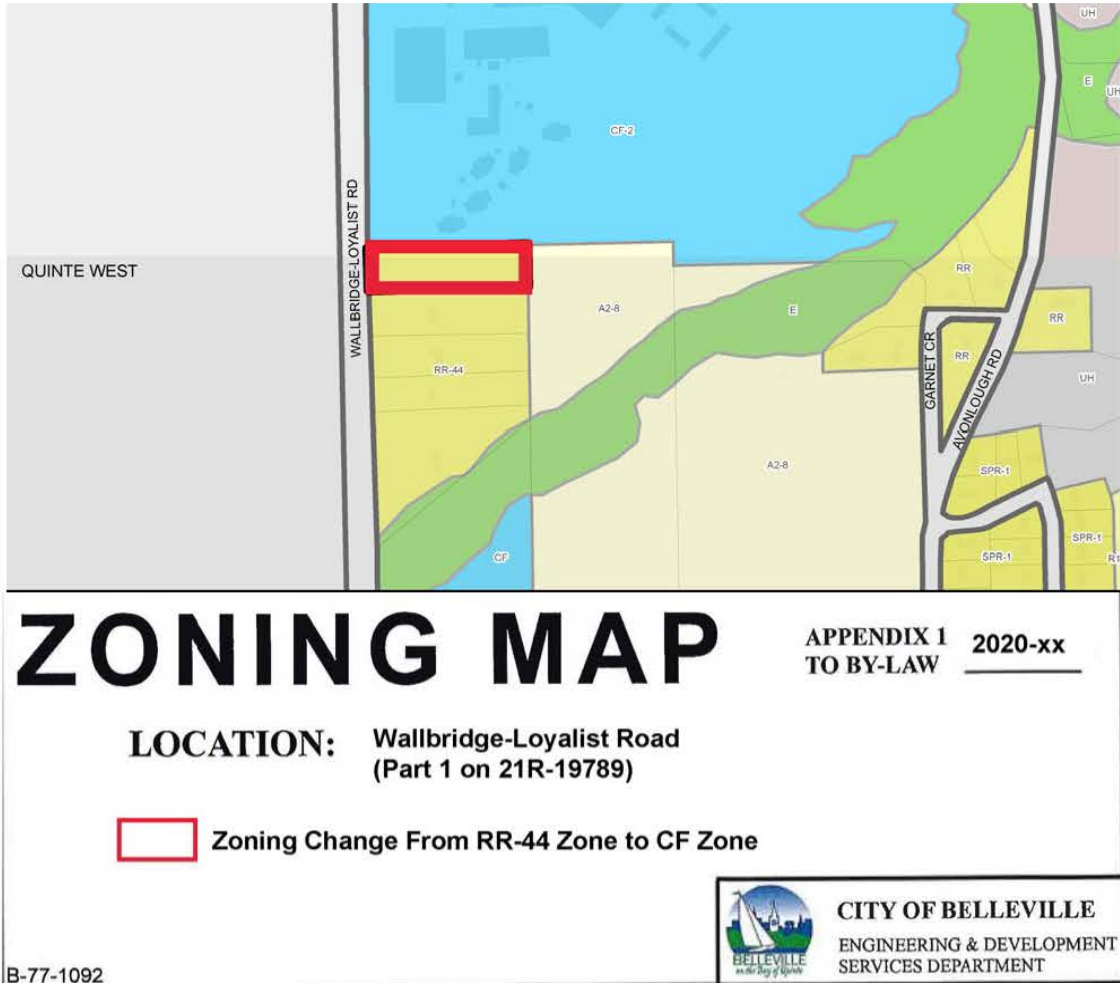
Read a second time this **xxth** day of **June, 2020**.

Read a third time and finally passed this **xxth** day of **June, 2020**.

MITCH PANCIUK, MAYOR

MATT MACDONALD
CITY CLERK

Appendix 1



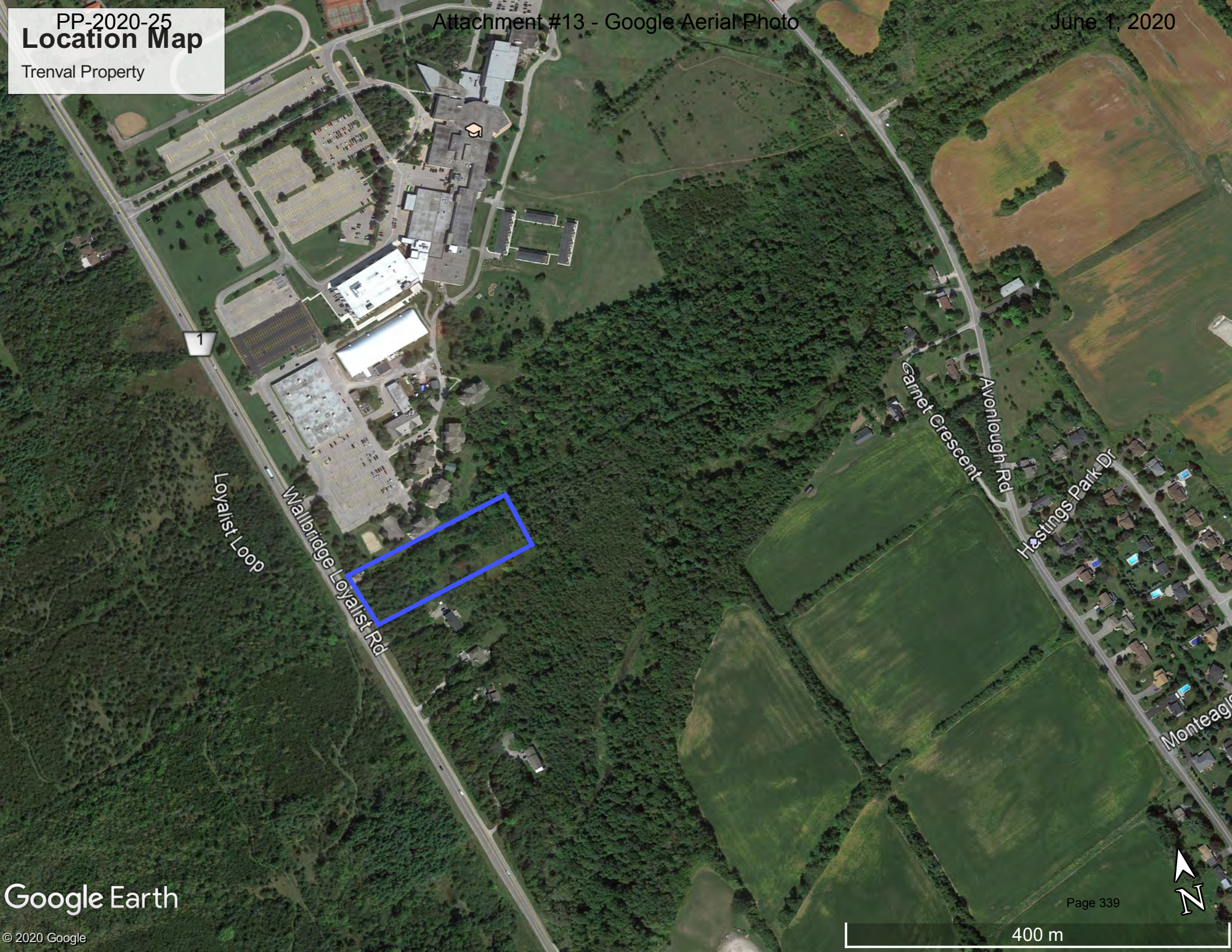
STATEMENT OF PURPOSE AND EFFECT

OF BY-LAW NUMBER 2020-____

The purpose and effect of By-Law Number 2020-____ is to amend Zoning By-Law Number 2076-80, as amended, as it affects land described as Part 1 on Plan 21R-19789, (Wallbridge-Loyalist Road) City of Belleville, County of Hastings, to allow a 600m² office building with offices, meeting rooms, co-working space, conference room and the potential to provide training space.

PP-2020-25
Location Map

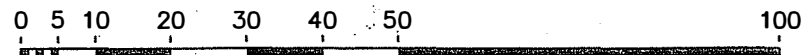
Trenval Property





PLAN OF SURVEY
PART OF LOT 31
CONCESSION 1
TOWNSHIP OF SIDNEY
NOW IN THE CITY OF BELLEVILLE
COUNTY OF HASTINGS

SCALE 1 : 1000



KEITH WATSON O.L.S.

| SCHEDULE | | | |
|----------|----------------|------------------------------------|-----------|
| PART | DESCRIPTION | INSTRUMENT | AREA |
| 1 | | 510169 533263 | 1.130 Ha. |
| 2 | PART OF LOT 31 | 510167 510169 533263 | 0.938 Ha. |
| 3 | | 510167 510169 533263 | 0.934 Ha. |
| 4 | | 510167 510169 533263 | 0.925 Ha. |
| 5 | CONCESSION 1 | 510165, 510167 510169 533263 | 1.270 Ha. |
| 6 | | 510165 510167 533263 | 0.269 Ha. |

PLAN 21R-19789

RECEIVED AND DEPOSITED

(Date) Feb. 7, 2001

J. Fines
AD LAND REGISTRAR
FOR THE REGISTRY
DIVISION OF HASTINGS (21)

I REQUIRE THIS PLAN TO BE DEPOSITED
UNDER THE REGISTRY ACT.

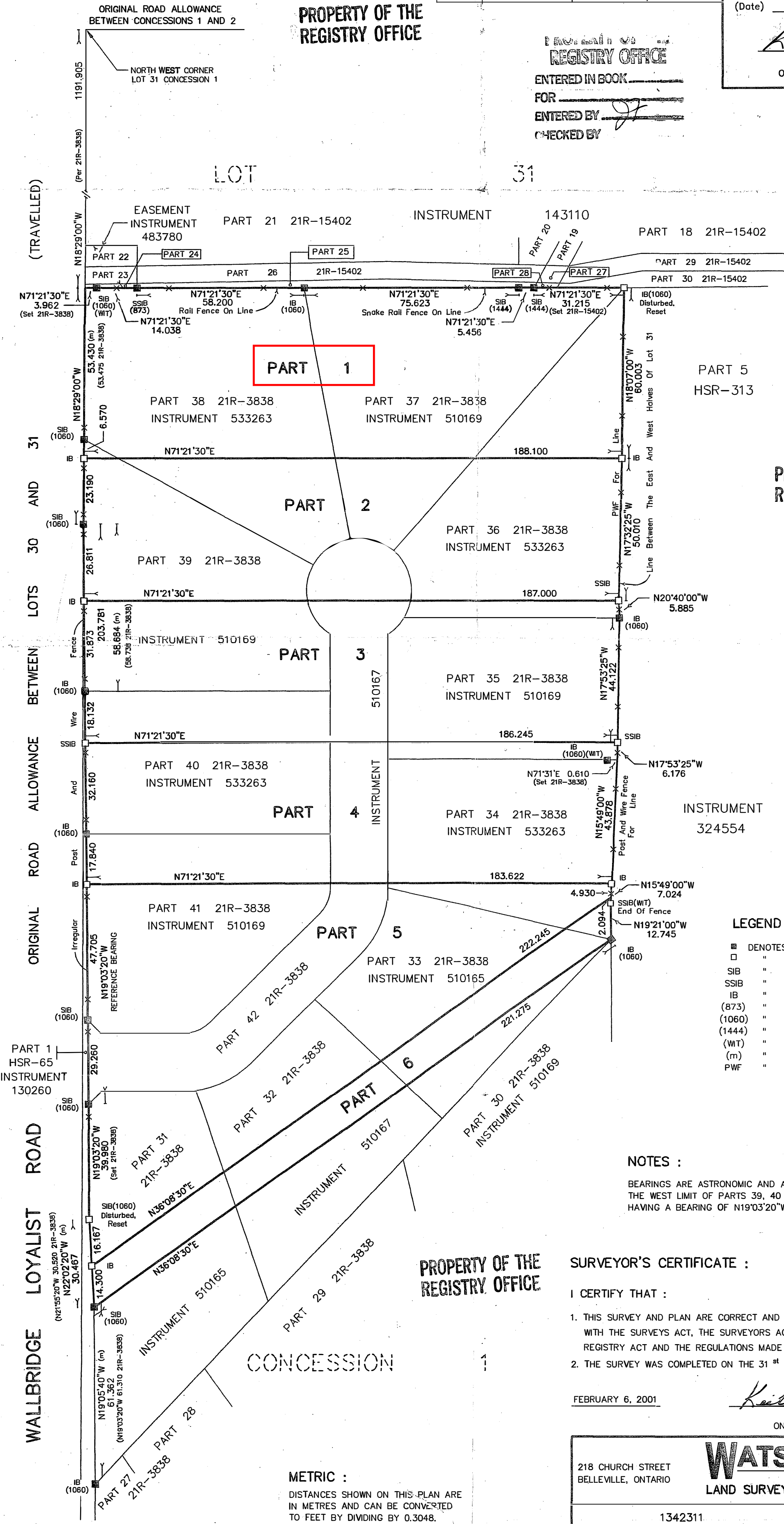
(Date) FEBRUARY 6 2001

Keith Watson
KEITH WATSON
ONTARIO LAND SURVEYOR

PROPERTY OF THE
REGISTRY OFFICE

REGISTRY OFFICE

ENTERED IN BOOK _____
FOR _____
ENTERED BY *JF*
CHECKED BY _____



PROPERTY OF THE
REGISTRY OFFICE

LEGEND :

- DENOTES SURVEY MONUMENT FOUND
- " SURVEY MONUMENT PLANTED
- SIB " STANDARD IRON BAR
- SSIB " SHORT STANDARD IRON BAR
- IB " IRON BAR
- (873) " W. A. BENINGER O.L.S.
- (1060) " W. I. WATSON O.L.S.
- (1444) " P. J. STRINGER O.L.S.
- (WT) " WITNESS
- (m) " MEASURE
- PWF " POST AND WIRE FENCE

NOTES :

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO
THE WEST LIMIT OF PARTS 39, 40 AND 41, PLAN 21R-3838
HAVING A BEARING OF N19°03'20"W.

PROPERTY OF THE
REGISTRY OFFICE

SURVEYOR'S CERTIFICATE :

I CERTIFY THAT :

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGISTRY ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 31ST DAY OF JANUARY, 2001.

FEBRUARY 6, 2001

Keith Watson
KEITH WATSON
ONTARIO LAND SURVEYOR

METRIC :

DISTANCES SHOWN ON THIS PLAN ARE
IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048.

218 CHURCH STREET
BELLEVILLE, ONTARIO

WATSON
LAND SURVEYORS Ltd.

K8N - 3C3
(613) 962 - 9521

1342311

PROJECT N^o 2083-H-00



| |
|--------------------------|
| APPROVAL BLOCK |
| DE& DS <u>SA</u> |
| MPP <u>Ashley McAdam</u> |

CITY OF BELLEVILLE
Thomas Deming, Principal Planner
Engineering and Development Services Department
Report No. PP-2020-26
June 1, 2020

To: Belleville Planning Advisory Committee

Subject: Notice of Complete Application and Introductory Public Meeting for Application for Proposed Amendment to Zoning By-Law Number 3014, As Amended
247 Harmony Road, City of Belleville
OWNER/APPLICANT: Marlene Mackenzie
AGENT: Keith Watson, OLS

File: B-77-1109

Recommendation:

“That Report No. PP-2020-26 dated June 1, 2020 regarding Notice of Complete Application and Introductory Public Meeting for Application for Proposed Amendment to Zoning By-Law Number 3014, As Amended – 247 Harmony, City of Belleville, County of Hastings be received as information, and;

That Staff report back at such time as input from the public, commenting agencies, and municipal departments has been received, assessed, and addressed to the satisfaction of the Engineering and Development Services Department.”

Background:

An application for 247 Harmony Road was received by the City of Belleville on April 20, 2020. The subject land is identified on the attached Location and Existing Zoning Map (Attachment #1).

The initial public meeting is held in accordance with the requirements of the Planning Act. The purpose of this meeting is for Committee Members to formally hear and receive public comments. The intent of this statutory public planning meeting is to receive public feedback and incorporate it into a recommendation report from Staff.

The Applicant is proposing to rezone the subject land as a condition of consent application B5/20. Application B5/20 proposes to sever 29 hectares from the subject land and add the land to the lot to the east of the subject

land (see Attachment #2 Survey Sketch). A condition of the consent application is to rezone the retained land to Rural Residential (RR) Zone. The proposed zoning is shown on the Proposed Zoning Map (Attachment #3).

Site details for the subject land:

| Site Review | Description |
|---|--|
| Site Location | The subject land is municipally known as 247 Harmony Road which is located on the north side of Harmony Road, east of River Road, and west of Homan Road |
| Site Size | Retained: 0.4 ha Severed: 29 ha |
| Present Use | Retained: Single detached dwelling Severed: Agricultural land |
| Proposed Use | No changes |
| Belleville Official Plan Designation | Rural Land Use |
| Present Zone Category | Prime Agriculture (PA) Zone |
| Proposed Zone Category | Retained: Rural Residential (RR) Zone Severed: Prime Agriculture (PA) Zone |
| Land uses to the north | Agriculture |
| Land uses to the east | Agriculture |
| Land uses to the south | Rural residential |
| Land uses to the west | Agriculture |

The Applicant submitted a survey sketch of the subject land showing the lot addition. No additional information, reports, or studies were provided with the rezoning application. This document has been available for public review at the Planning Department.

The survey sketch is also available online for public review at www.belleville.ca/DevelopmentApplications.

Proposal

The Applicant is proposing to rezone the subject land as a condition of consent application B5/20. The application proposes to rezone the retained parcel to Rural Residential (RR) Zone. The severed parcel will remain Prime Agriculture (PA) Zone.

Provincial Policy Statement

Municipalities are required to ensure all decisions related to land use planning matters shall be consistent with the Provincial Policy Statement.

Planning Staff will consider the following policies in the PPS:

1.1.4.1 Healthy, integrated and viable rural areas should be supported by:

- a) building upon rural character, and leveraging rural amenities and assets;
- b) promoting regeneration, including the redevelopment of brownfield sites;
- c) accommodating an appropriate range and mix of housing in rural settlement areas;
- d) encouraging the conservation and redevelopment of existing rural housing stock on rural lands;
- e) using rural infrastructure and public service facilities efficiently;
- f) promoting diversification of the economic base and employment opportunities through goods and services, including value-added products and the sustainable management or use of resources;
- g) providing opportunities for sustainable and diversified tourism, including leveraging historical, cultural, and natural assets;
- h) conserving biodiversity and considering the ecological benefits provided by nature; and
- i) providing opportunities for economic activities in prime agricultural areas, in accordance with policy 2.3.

1.1.5.2 On rural lands located in municipalities, permitted uses are:

- a) the management or use of resources;
- b) resource-based recreational uses (including recreational dwellings);
- c) limited residential development;
- d) home occupations and home industries;
- e) cemeteries; and
- f) other rural land uses.

1.1.5.4 Development that is compatible with the rural landscape and can be sustained by rural service levels should be promoted.

1.1.5.9 New land uses, including the creation of lots, and new or expanding livestock facilities, shall comply with the minimum distance separation formulae.

Official Plan

The land is designated "Rural" in the City's Official Plan (Attachment #4 – Official Plan Designation Map). Planning Staff use the policies within the Official Plan to make recommendations.

The Official Plan states that lands within the Rural Land Use designation shall be used predominantly for agricultural activity as well as limited residential, commercial/industrial and conservation and small-scale outdoor recreation uses.

The following policy regarding the Rural Land Use will be considered:

3.3.2 Agricultural Policies

- a) Retention of existing agricultural uses and the establishment of new agricultural uses is encouraged in areas designated Rural land use.

3.3.3 Residential Policies

- b) Only residential development that has minimal impact on natural environmental features and the rural character should be permitted. To that end, residential uses in areas designated Rural land use should reflect the character of existing development in the area, and should be encouraged on lots minimum .4 hectares in size with at least 50 metres of frontage on a public street.

Zoning By-Law

The subject land is currently zoned Prime Agriculture (PA) Zone under Zoning By-Law 3014.

The application proposes to rezone the retained parcel to Rural Residential (RR) Zone as a condition of consent application B5/20. The severed parcel is to remain as Prime Agriculture (PA) Zone.

The retained parcel has a proposed area of 0.4 hectares which complies with the Rural Residential (RR) Zone. The existing lot frontage of 44.5 metres does not comply with the required 45 metre frontage of the zone.

The severed parcel will be added to a lot to the east which is also zoned Prime Agriculture (PA) Zone. The benefitting land will still comply with the zone and no special provisions are required.

Public Comments

On May 11, 2020, a written notice and location map was mailed by first class mail to all registered owners of land within 120 metres of the subject property. The notice provided information that a public meeting was scheduled for June 1, 2020.

Similarly, a sign was placed on the subject land notifying the general public

that a public meeting was scheduled for June 1, 2020.

At the time of writing this report, no correspondence from the public has been received by the City regarding this application.

Staff and Agency Comments

External Agency Circulation

The subject application was circulated for comment to the Algonquin & Lakeshore Catholic School Board, the Hastings & Prince Edward District School Board, Hastings and Prince Edward Health Unit, Bell Canada, Canada Post, Ontario Power Generation, Union Gas, Elexicon Energy, Hydro One, TransCanada Pipeline, Enbridge Pipelines, Trans-Northern Pipelines, MPAC, and the Health Unit.

At the time of writing this report, no comments or concerns have been received regarding this application.

Internal Department Circulation

The subject application was circulated for comment to the Belleville Fire Department, Belleville Police Service, the General Manager of Transportation & Operations Department, General Manager of Environmental Services, the Director of Recreation, Culture and Community Services, the Manager of Parks & Open Spaces, the Chief Administrative Officer, the Manager of Economic & Strategic Initiatives, the City Clerk, the Chief Building Official, the Manager of Approvals, and the Accessibility Co-ordinator.

At the time of writing this report, no comments have been received regarding this application.

Considerations:

Public

Circulation to the public complies with the requirements of the Planning Act, R.S.O. 1990.

Financial

The fees of the application have been received by the City.

Impact on and input from other Departments/Sources

Circulation of this application to other departments/agencies has occurred.

Conclusion:

Comments received at this public meeting, as well as subsequent written comments will be considered by the Engineering and Development Services Department in analysis of the application received to amend the City of Belleville Zoning By-Law 3014. A recommendation report will be brought forward upon receipt of all agency and public comments.

Staff note that the proposed retained lot has a minor deficiency in lot frontage and will be addressed in the recommendation report.

Respectfully submitted,

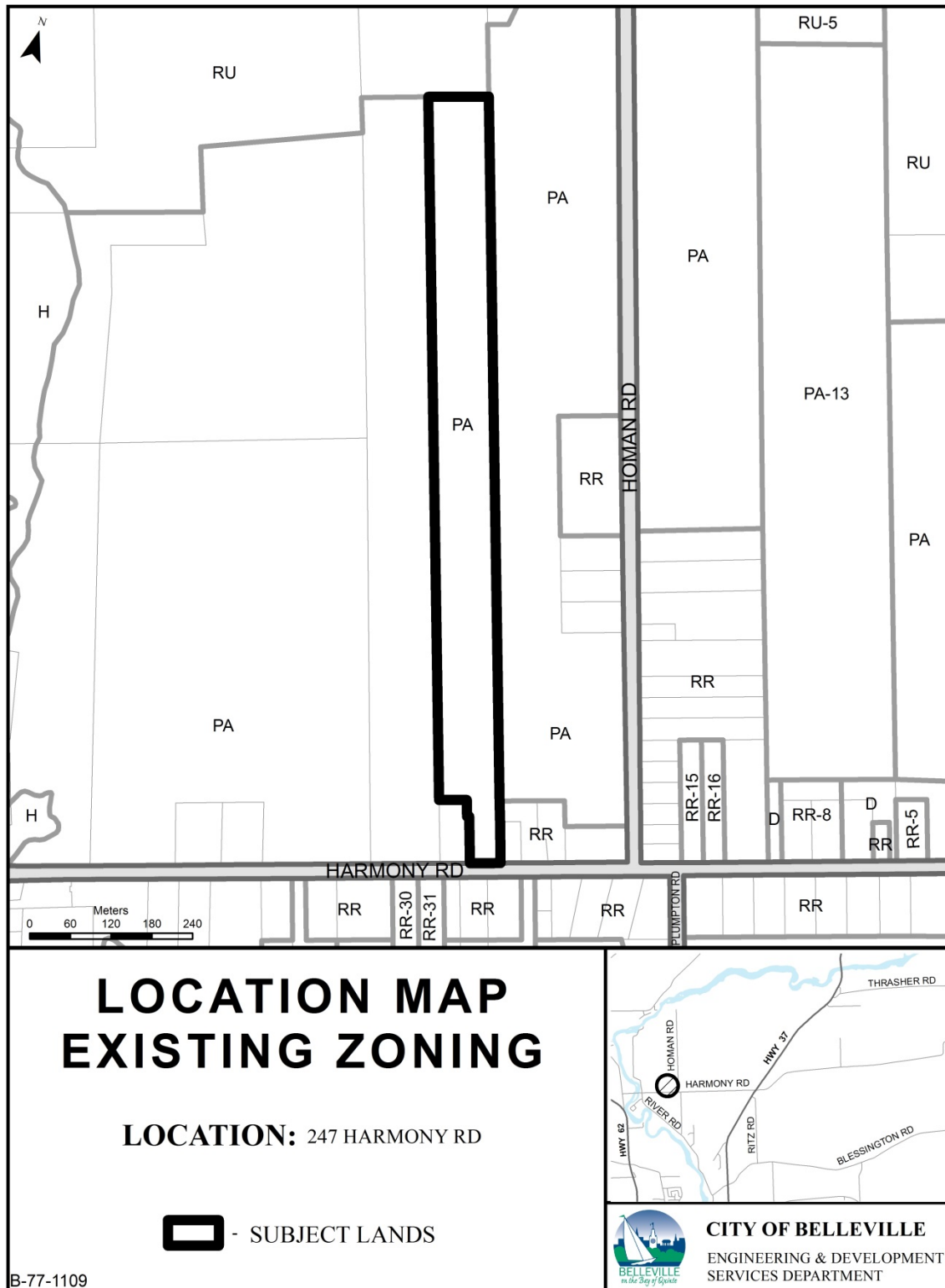


Thomas Deming
Principal Planner, Policy Planning
Engineering and Development Services Department

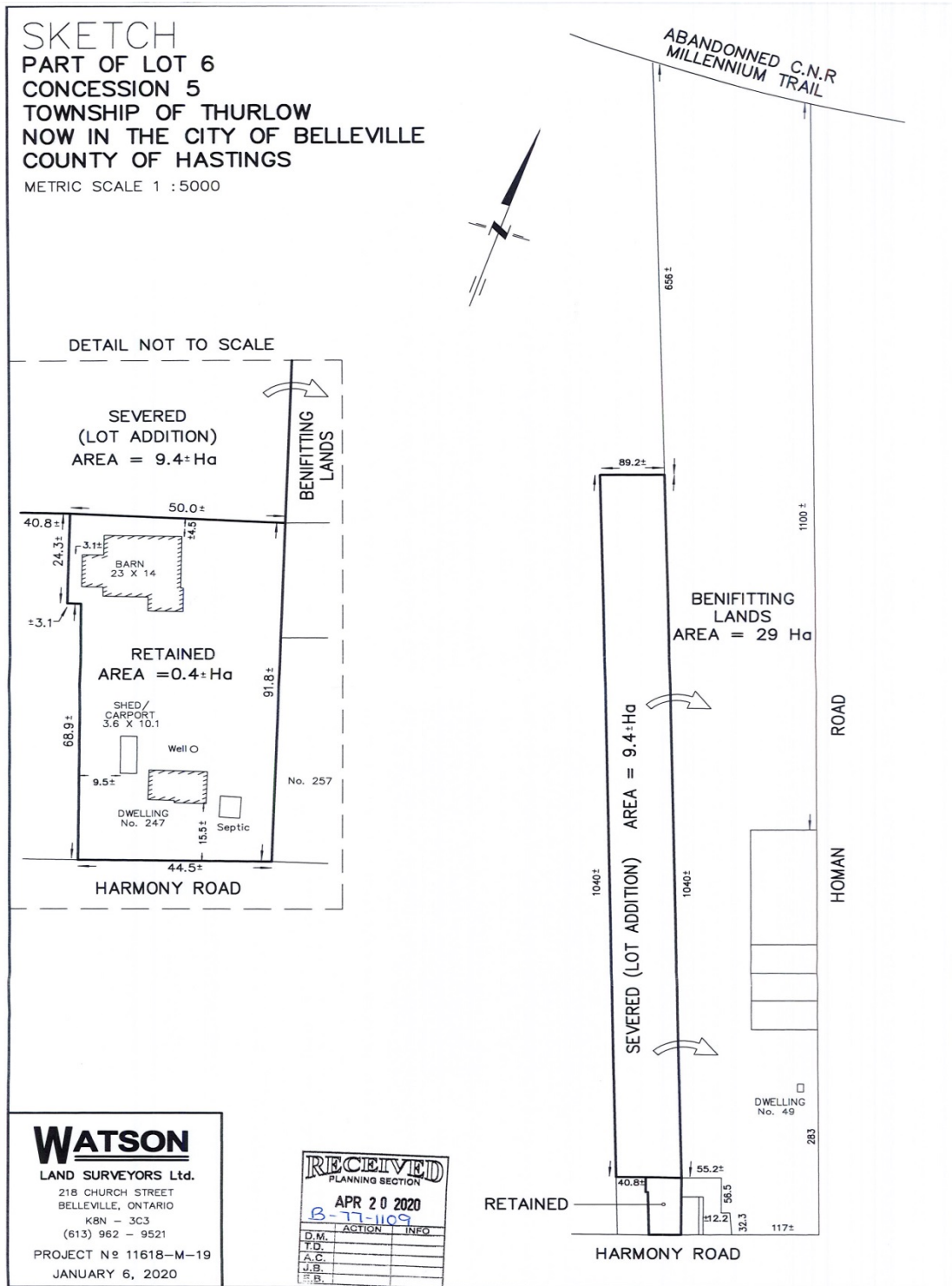
Attachments

- Attachment #1 – Location and Existing Zoning Map
- Attachment #2 – Survey Sketch
- Attachment #3 – Proposed Zoning Map
- Attachment #4 – Official Plan Designation

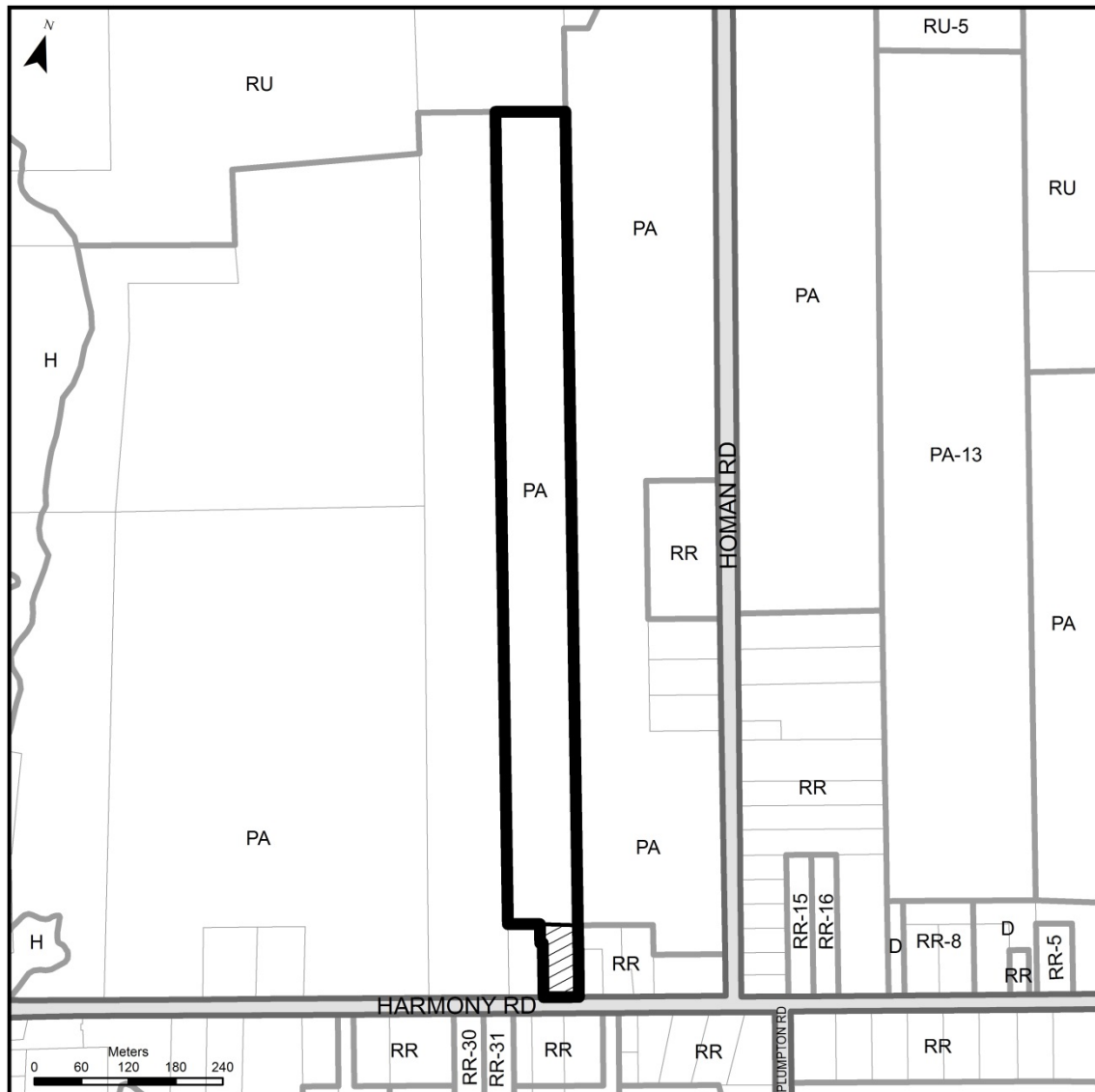
Attachment #1 – Location and Existing Zoning Map



Attachment #2 – Survey Sketch






Attachment #3 – Proposed Zoning Map



PROPOSED ZONING BY-LAW AMENDMENT

LOCATION: 247 HARMONY RD

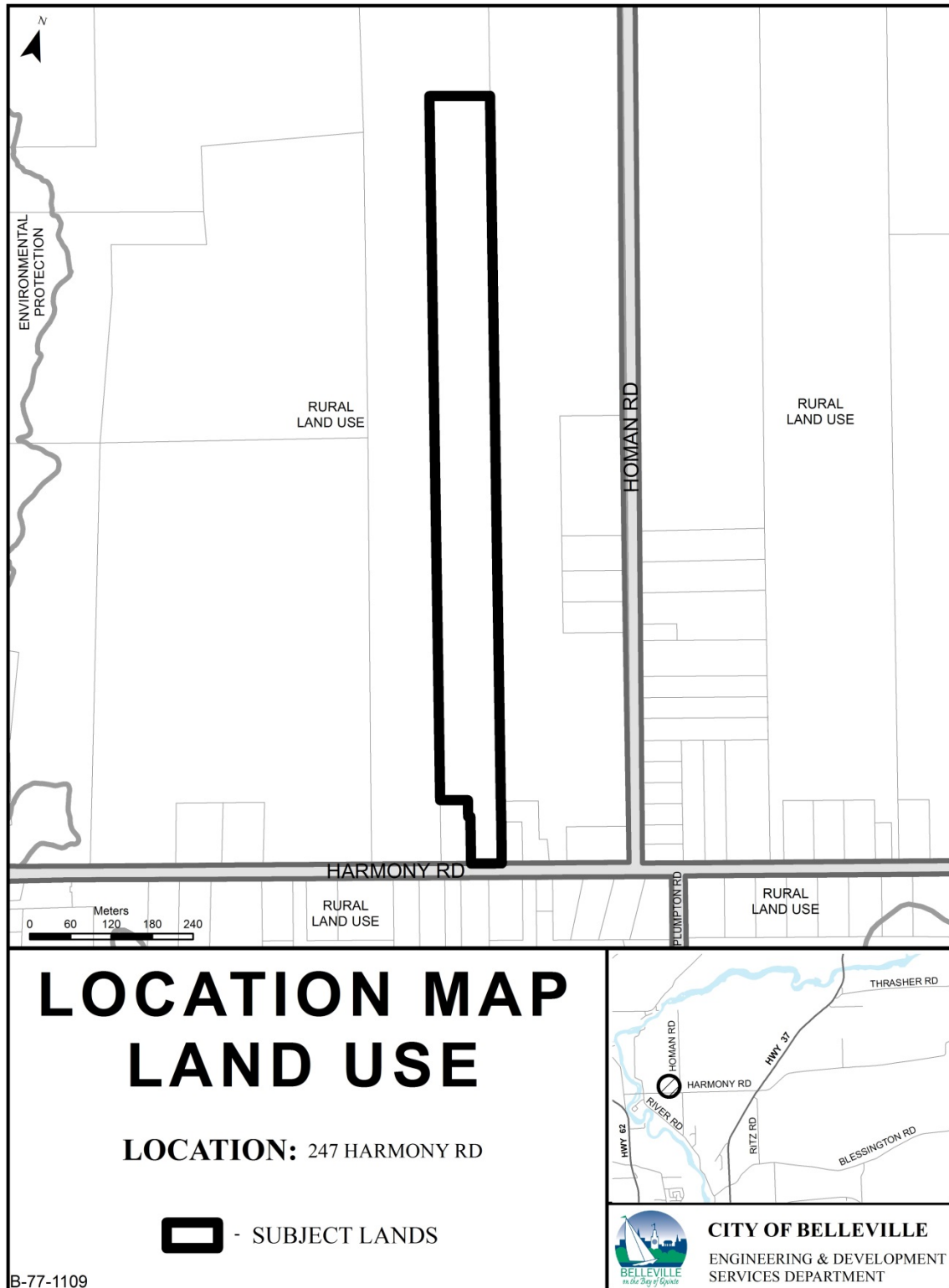
-  - SUBJECT LANDS
-  - PROPOSED ZONING CHANGE TO RR (RURAL RESIDENTIAL)

CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT SERVICES DEPARTMENT

B-77-1109

Attachment #4 – Official Plan Designation





| | |
|-----------------------|---------------------|
| APPROVAL BLOCK | |
| DE& DS | <i>SA</i> |
| MPP | <i>Alexa McAdam</i> |

CITY OF BELLEVILLE

Thomas Deming, Principal Planner
Engineering and Development Services Department
Report No. PP-2020-27
June 1, 2020

To: Belleville Planning Advisory Committee

Subject: Notice of Complete Application and Introductory Public Meeting For Proposed Zoning By-law Amendment (By-Law 3014)
406 Maitland Drive, City of Belleville
OWNER: Andy Geertsma
APPLICANT: G.C.C. Developments Ltd.

File: B-77-1110

Recommendation:

"That Report No. PP-2020-27 dated June 1, 2020 regarding Notice of Complete Application and Introductory Public Meeting For Proposed Amendment to Zoning By-Law Number 3014, as Amended – 406 Maitland Drive, City of Belleville, County of Hastings be received as information, and;

That Staff report back at such time as input from the public, commenting agencies, and municipal departments has been received, assessed, and addressed to the satisfaction of the Engineering and Development Services Department."

Background:

The City received a rezoning application for the subject land on April 17, 2020. The subject land and existing zoning is identified on the attached Location and Existing Zoning Map (Attachment #1).

The application proposes to rezone the land to add veterinary clinic as a permitted use within the General Industrial (M1-16) Zone. The proposed zoning is shown on the Proposed Zoning Map (Attachment #2).

The initial public meeting is held in accordance with the requirements of the Planning Act. The purpose of this meeting is for Committee Members to formally hear and receive public comments. The intent of this statutory public planning meeting is to receive public feedback and incorporate it into a recommendation report from staff.

In support of the application, the following was submitted:

- A Plot Plan (Attachment #3);
- A Planning Justification Report (Attachment #4);
- A Proposed Zoning By-Law Amendment (Attachment #5);
- Google Photos (Attachment #6);
- Exterior Pictures (Attachment #7);
- A Property Index Map (Attachment #8);
- A Plan of Survey (Attachment #9); and
- A Proposed Floor Plan (Attachment #10).

These documents are available online for public review at www.belleville.ca/DevelopmentApplications.

Site details for the subject land:

| Site Review | Description |
|---|---|
| Site Location | The subject land is located south of Maitland Drive, west of Farnham Road and east of Parks Drive, and is municipally known as 406 Maitland Drive |
| Site Size | 5,723 square metres |
| Present Use(s) | Commercial Plaza |
| Proposed Use | Existing plus a veterinary clinic |
| Belleville Official Plan Designation | Industrial Land Use |
| Present Zone Category | General Industrial (M1-16) Zone |
| Proposed Zone Category | General Industrial (M1-16) Zone |
| Land uses to the north | Light manufacturing (pre-cast concrete), vacant land and small plaza |
| Land uses to the east | Light manufacturing business (sheet metal) |
| Land uses to the south | Moira River |
| Land uses to the west | Warehouse (factory outlet) |

Proposal

The application proposes to add veterinary clinic as a permitted use within the General Industrial (M1-16) Zone under Zoning By-Law 3014.

Provincial Policy Statement

Municipalities are required to ensure all decisions related to land use planning matters shall be consistent with the Provincial Policy Statement.

Planning Staff will consider the following policies in the PPS:

1.3.1 Planning authorities shall promote economic development and competitiveness by:

- a) providing for an appropriate mix and range of employment and institutional uses to meet long-term needs;
- b) providing opportunities for a diversified economic base, including maintaining a range and choice of suitable sites for employment uses which support a wide range of economic activities and ancillary uses, and take into account the needs of existing and future businesses;
- c) encouraging compact, mixed-use development that incorporates compatible employment uses to support liveable and resilient communities;

1.7.1 Long-term economic prosperity should be supported by:

- a) promoting opportunities for economic development and community investment-readiness;

Official Plan

The land is designated "Industrial" and "Open Space" in the City's Official Plan (Attachment #11 – Official Plan Designation Map). Furthermore, the subject land is within a special policy area that being, Special Policy Area # 5 – Cannifton Planning Area. Planning Staff will use the policies within the Official Plan to make a recommendation. Official Plan policy that will be considered includes:

- Lands within the Industrial Land Use designation shall be used predominantly for manufacturing, assembling, fabricating, packaging or processing of goods and services, including transportation/truck terminals, warehouses, railway uses, and other similar uses. Other compatible uses such as commercial uses accessory to industrial uses, commercial uses which primarily serve the industrial area, wholesale establishments, office uses, equipment rental uses, data processing establishments, other quasi-industrial, service or business uses such as automotive services uses and utility or service companies, and commercial uses which require large sites for storage are permitted.
- This Plan encourages diversification of the types and sizes of industrial activities in the City. Industrial uses should be permitted on lots of all sizes; for each lot, there should be sufficient area provided to accommodate buildings, parking and loading areas, and landscaping. Uses may be permitted either as a single use on a lot or in concert with other uses on the same lot, such as industrial malls or plazas.
- General commercial, and convenience or service commercial uses may be established within areas designated Industrial land use to provide services to workers within the industrial areas of the City and to those

who may be passing through, provided that such developments are generally limited in scale and do not detract from the general purpose of such areas to provide for intensive industrial activities.

- Uses permitted in the area designated Industrial land use in the Maitland/Parks Drive area may include various types of industrial uses but should generally be oriented to quasi-commercial and industrial uses, such as contractors yards, discount retail outlets, equipment rental establishments, truck terminals and depots, home improvement businesses, and similar uses that often exhibit both industrial and commercial characteristics. This area may be designated an enterprise zone by Council due to the variety of land uses within this area.

Lands designated Open Space apply to areas where the predominant use of land is for significant public outdoor parks and recreation uses. Some privately owned lands that have open space characteristics are also designated Open Space. Generally, only buildings and structures necessary to establish and support the principal use should be established on lands designated Open Space as a means to retain as much of the open character of these lands as possible. The application proposes no changes to the lands designated as Open Space.

Zoning By-Law

The subject land is currently zoned General Industrial (M1-16) Zone and Hazard (H) Zone under Zoning By-Law 3014.

Permitted uses in the General Industrial (M1) Zone include:

- Assembly, fabricating, manufacturing or processing plants;
- Builders supply;
- Bulk storage;
- Contractors yard;
- Equipment, including farm equipment, rental, sales and service;
- Feed mill or seed cleaning plant;
- Lumber yard, sawmill or planing mill;
- Machine or welding shop;
- Motor vehicle body shop;
- Motor vehicle repair garage;
- Parking lot;
- Printing or publishing establishment;
- Public works depot;
- Retail Sales, in conjunction with and secondary to an approved non-residential use;
- Truck terminal;
- Warehouse;

- Wholesale establishment;
- Workshop;
- Single family dwelling in association with a non-residential use; and
- Dwelling unit in part of a non-residential building.

The subject land currently has a site-specific zone being the M1-16 Zone. This site-specific zone adds the following uses in addition to the standard M1 Zone:

- Service oriented commercial shops;
- Business and professional offices;
- Restaurants and other eating establishments;
- Convenience retail;
- Personal service shop;
- Warehousing; and
- Transportation and truck terminals.

The application is not proposing any additional changes to the General Industrial Zone provisions. No changes to the Hazard (H) Zone are requested as part of this proposal.

Public Comments

On May 11, 2020 a written notice and location map was mailed by first class mail to all registered owners of land within 120 metres of the subject property. The notice provided information that a public meeting was scheduled for June 1, 2020.

Similarly, a sign was placed on the subject lands notifying the general public that a public meeting was scheduled for June 1, 2020.

Both notices state that additional information is available. These documents are available for review by any member of the public online at www.belleville.ca/DevelopmentApplications.

At the time of writing this report, no correspondence from the public has been received by the City regarding this application.

Staff and Agency Comments

External Agency Circulation

The subject application was circulated for comment to the Algonquin & Lakeshore Catholic School Board, the Hastings & Prince Edward District School Board, Hastings and Prince Edward Health Unit, Bell Canada, Canada

Post, Ontario Power Generation, Union Gas, Veridian Connections, Hydro One, TransCanada Pipeline, Enbridge Pipelines, Trans-Northern Pipelines, MPAC, and the Health Unit.

At the time of writing this report, no comments or concerns have been received regarding this application.

Internal Department Circulation

The subject application was circulated for comment to the Belleville Fire Department, Belleville Police Service, the Development Engineer, the General Manager of Transportation & Operations Department, General Manager of Environmental Services, the Director of Recreation, Culture and Community Services, the Manager of Parks & Open Spaces, the Chief Administrative Officer, the Manager of Economic & Strategic Initiatives, the City Clerk, the Chief Building Official, the Manager of Approvals, and the Accessibility Co-ordinator.

At the time of writing this report, no comments have been received regarding this application.

Considerations:

Public

Circulation to the public complies with the requirements of the Planning Act, R.S.O. 1990.

Financial

The fees of the application have been received by the City.

Impact on and input from other Departments/Sources

Circulation of this application to other departments/agencies has occurred.

Strategic Plan Alignment

The City of Belleville's Strategic Plan identifies nine strategic themes including Industrial and Commercial Development. The strategic objectives of the Industrial and Commercial Development theme are:

- Ensure suitable serviced employment lands are available to meet the needs of all potential industrial and commercial investments
- Market the City's unique strengths to attract leading-edge industries

that provide high paying job opportunities

- Encourage remediation and redevelopment of underutilized lands
- Support initiatives that create an available skilled labour force, including programs to retain youth in the community

Conclusion:

Comments received at this public meeting, as well as subsequent written comments will be considered by the Engineering and Development Services Department in analysis of the application received to amend the City of Belleville Zoning By-law 3014. A recommendation report will be brought forward upon receipt of all agency and public comments.

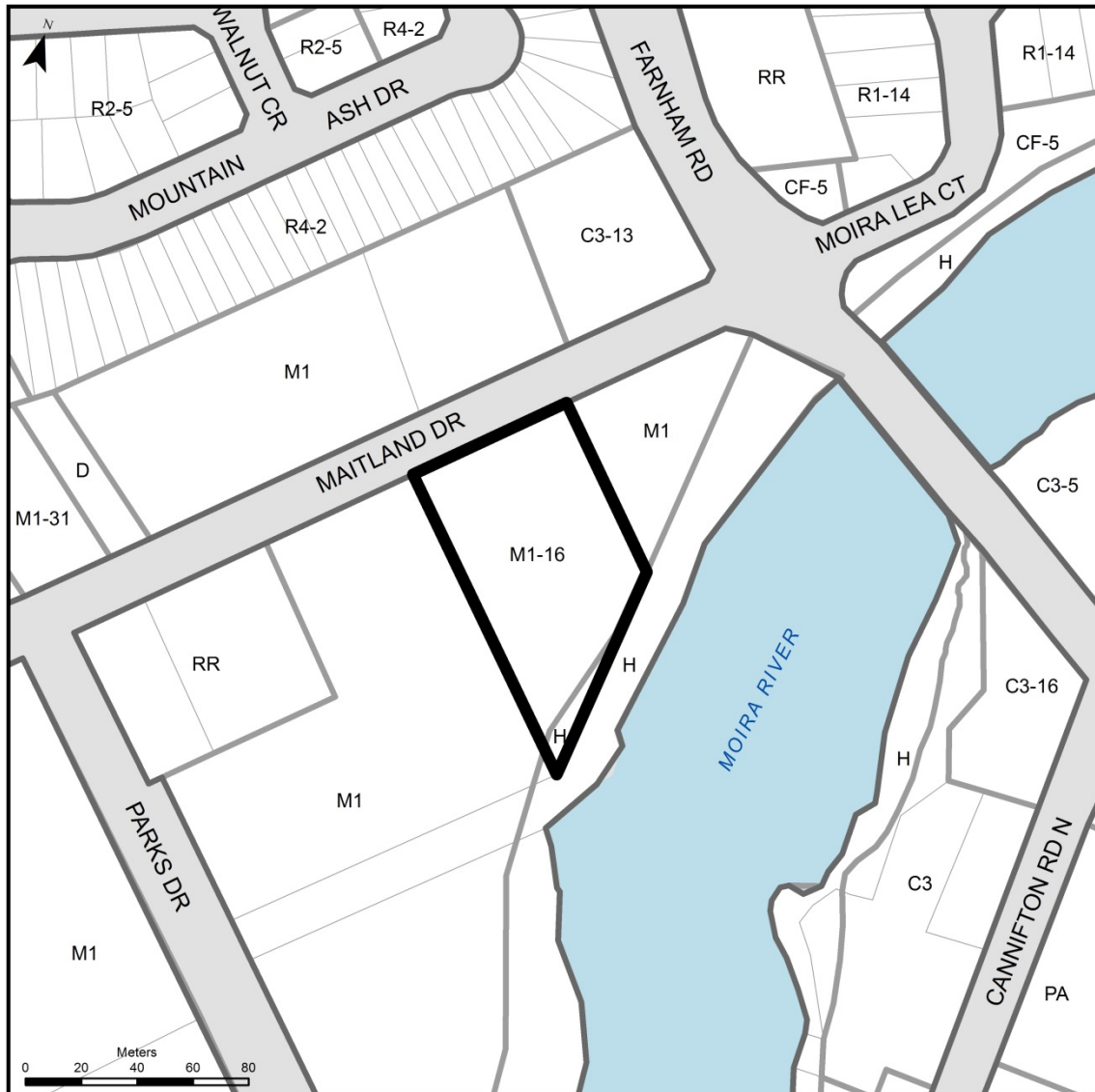
Respectfully submitted



Thomas Deming
Principal Planner, Policy Planning
Engineering and Development Services Department

Attachments

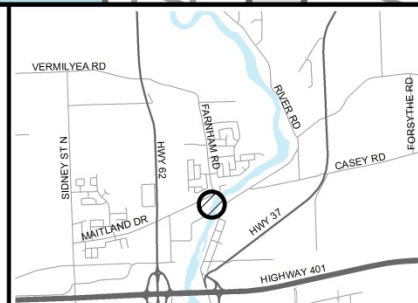
- | | |
|------------------|----------------------------------|
| Attachment #1 – | Location and Existing Zoning Map |
| Attachment #2 – | Proposed Zoning Map |
| Attachment #3 – | Plot Plan |
| Attachment #4 – | Planning Justification Report |
| Attachment #5 – | Proposed Zoning By-Law Amendment |
| Attachment #6 – | Google Photos |
| Attachment #7 – | Exterior Pictures |
| Attachment #8 – | Property Index Map |
| Attachment #9 – | Plan of Survey |
| Attachment #10 – | Proposed Floor Plan |
| Attachment #11 – | Official Plan Designation Map |



LOCATION MAP EXISTING ZONING

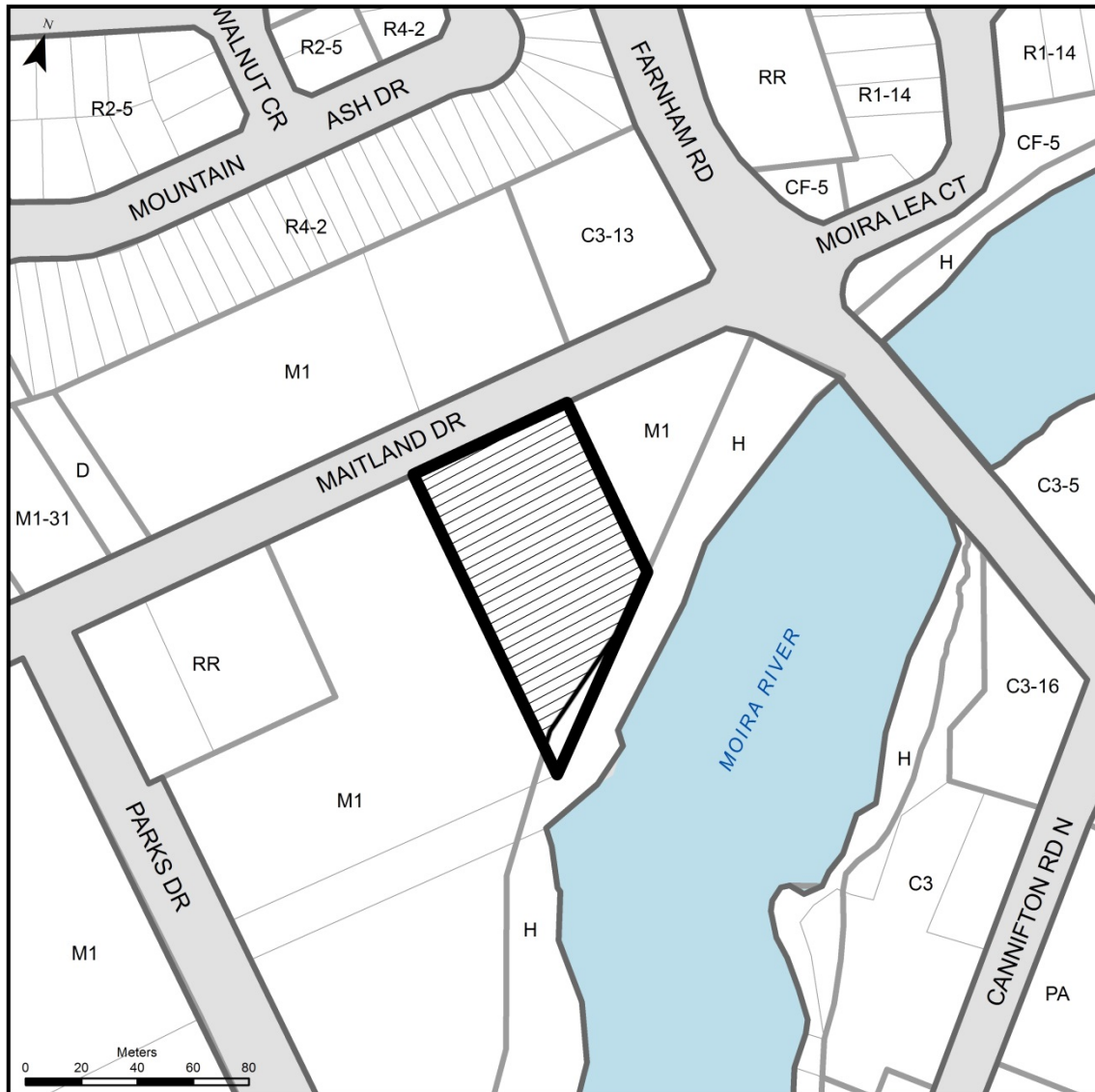
LOCATION: 406 MAITLAND DR

 - SUBJECT LANDS




CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT
SERVICES DEPARTMENT

B-77-1110

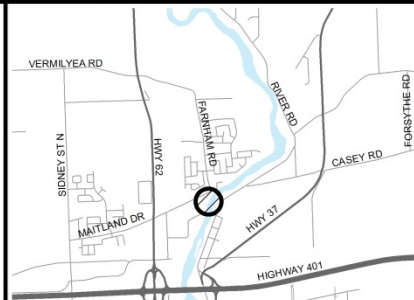


PROPOSED ZONING BY-LAW AMENDMENT

LOCATION: 406 MAITLAND DR

 - SUBJECT LANDS

 - PROPOSED ZONING CHANGE TO AMENDED M1-16 (GENERAL INDUSTRIAL WITH SPECIAL PROVISIONS)



CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT
SERVICES DEPARTMENT

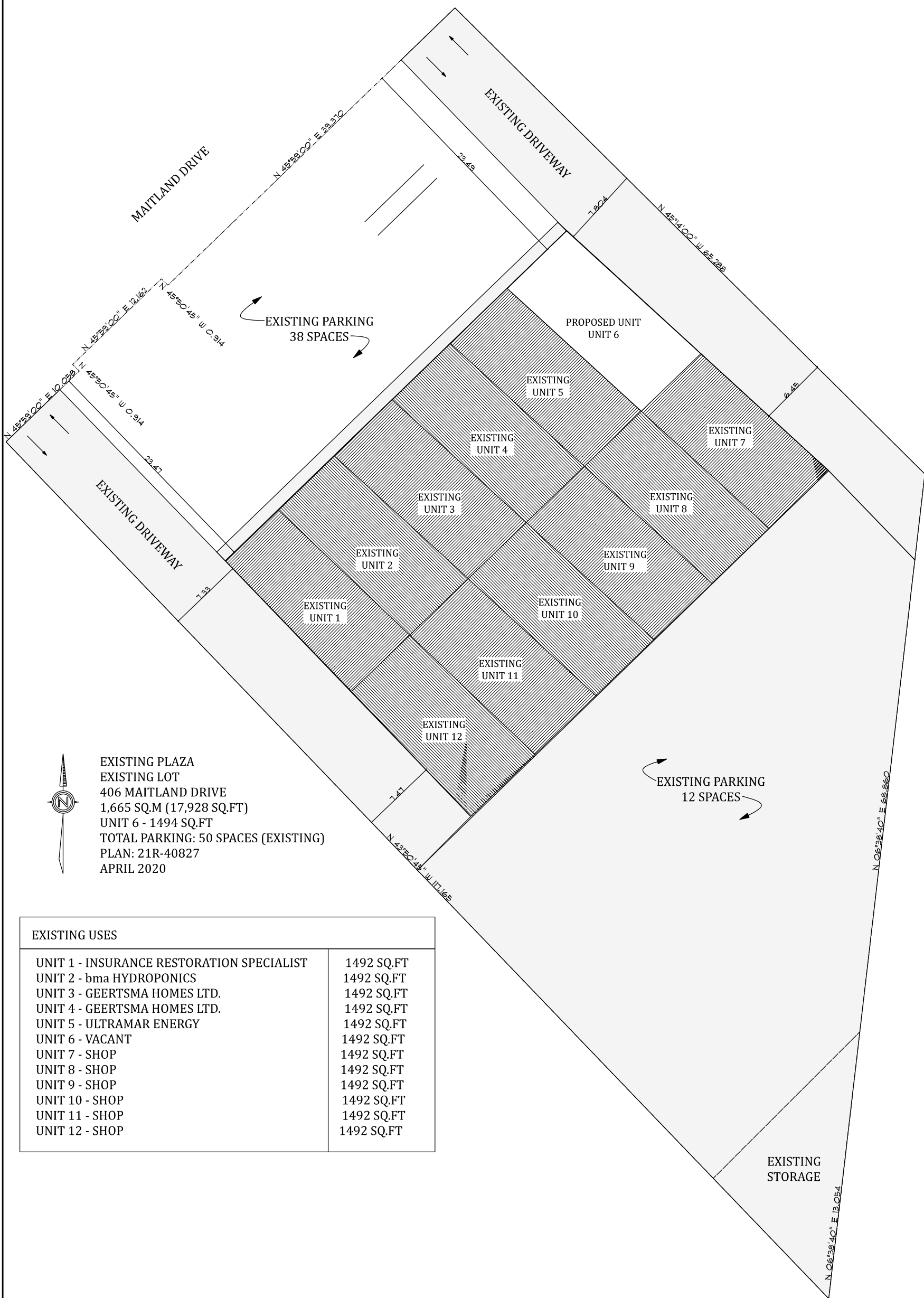
B-77-1110

PP-2020-27

Attachment #3
Plot Plan

June 1, 2020

THESE PLANS FORM THE BASIS FOR PERMIT ISSUANCE AND ANY DEVIATIONS FROM THESE PLANS AND DETAILS, INCLUDING THE VENTILATION SYSTEM, HEATING SYSTEM, WOODSTOVE, FIREPLACES, DECKS, BALCONIES, AND FINISHED BASEMENTS, WILL REQUIRE A REVISED DRAWING AND CLEARANCE FROM THE BUILDING DEPARTMENT



EXISTING PLAZA
 EXISTING LOT
 406 MAITLAND DRIVE
 1,665 SQ.M (17,928 SQ.FT)
 UNIT 6 - 1494 SQ.FT
 TOTAL PARKING: 50 SPACES (EXISTING)
 PLAN: 21R-40827
 APRIL 2020

EXISTING USES

| | |
|---|------------|
| UNIT 1 - INSURANCE RESTORATION SPECIALIST | 1492 SQ.FT |
| UNIT 2 - bma HYDROPONICS | 1492 SQ.FT |
| UNIT 3 - GEERTSMA HOMES LTD. | 1492 SQ.FT |
| UNIT 4 - GEERTSMA HOMES LTD. | 1492 SQ.FT |
| UNIT 5 - ULTRAMAR ENERGY | 1492 SQ.FT |
| UNIT 6 - VACANT | 1492 SQ.FT |
| UNIT 7 - SHOP | 1492 SQ.FT |
| UNIT 8 - SHOP | 1492 SQ.FT |
| UNIT 9 - SHOP | 1492 SQ.FT |
| UNIT 10 - SHOP | 1492 SQ.FT |
| UNIT 11 - SHOP | 1492 SQ.FT |
| UNIT 12 - SHOP | 1492 SQ.FT |

EXISTING STORAGE

I TONY ENGELSDORFER HAVE REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK AND AM QUALIFIED IN THE APPROPRIATE CATEGORY AS "OTHER DESIGNER" UNDER DIV. C. 3.2.5.1. OF THE 2012 ONTARIO BUILDING CODE.

BCIN No: 37422

DATE: JULY 27, 2017

SIGNATURE:

THIS DESIGN AND CONSTRUCTION DRAWING IS THE PROPERTY OF GEERTSMA HOMES LTD. AND IS NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION

| No. | DESCRIPTION | DATE |
|-----|-------------|------|
| 1 | | |
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| BCIN * | 37422 |
| REVIEWED BY | T. ENGELSDORFER |
| DATE | APRIL 2020 |

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| REVIEWED | B. PERTSCH |
| DRAWN BY: | B. PERTSCH |
| AUTHORIZED | |

| | |
|----------------|-----------------------------|
| PROJECT | 406 MAITLAND DRIVE UNIT 6 |
| PROJECT NUMBER | |
| DRAWING NAME | 406 MAITLAND DRIVE - UNIT 6 |

| | |
|-------|-------|
| SCALE | 1:100 |
|-------|-------|

SHEET No. **Page 362**





Planning Rationale

**To: Ms. Desta McAdam, MCIP, RPP
Manager, Policy Planning
City of Belleville**

**From: Spencer Hutchison, MCIP, RPP
Senior Associate Planner
RFA Planning Consultant Inc.**

**Cc: Brooke Pertschi
Geertsma Homes Ltd.**

Date: April 20, 2020

**Re: Application to Amend City of Belleville Zoning By-law 3014
406 Maitland Drive, Thurlow Ward – City of Belleville
Geertsma Homes Ltd**

This memo is to summarize our planning opinion in support of the Geertsma Homes Ltd. application to amend the City of Belleville Zoning By-law 3014 for the above noted property to permit a veterinarian clinic within a unit in the existing plaza on this property.

BACKGROUND

The subject property, municipally known as 406 Maitland Drive, is located on the south side of Maitland Drive just west of Farnham Road as illustrated on **APPENDIX 1** (Location Map).

As shown on **APPENDIX 2** (Property Survey), this property has a frontage of 61.6 metres along Maitland Drive and an area of 5,723 m². Currently situated on this

211 Dundas Street East, Suite 202, Belleville, Ontario K8N 1E2

613.966.9070 www.rfaplanningconsultant.ca

Application to Amend City of Belleville Zoning By-law 3014
406 Maitland Drive, Thurlow Ward – City of Belleville
Geertsma Homes Ltd

property is a 1,665m² commercial plaza which was legally created as a 12-unit commercial condominium in 1991 as shown on **APPENDIX 3** (Condominium Plan).

In addition to the main building on the subject lands, as shown on **APPENDIX 4** (Plot Plan), there are two entranceways to the property at the northeast and northwest corners. In front of the plaza are 38 parking spaces while a further 12 parking spaces are provided behind the plaza.

APPENDIX 5 (Street View) shows the front elevation of the plaza facing onto Maitland Drive.

It is noted that the City is completing the re-construction of Maitland Drive to an urban standard including widening for a two-way shared center left turn lane, street lighting and sidewalks. Sanitary sewer and watermain were installed to support the continued development of the Cannifton Secondary Plan area and a storm sewer was installed to eliminate roadside ditches.

The surrounding land uses are indicated below:

To the east: light manufacturing business (sheet metal);

To the west: warehouse (factory outlet);

To the south: Moira River;

To the north: light manufacturing (pre-cast concrete), vacant land and small plaza.

PROPOSAL

Geertsma Homes Ltd. proposes to add one extra permitted use to the subject lands that being a veterinarian clinic. This use will be wholly contained within an existing unit in the existing plaza. No expansion or enlargement of the plaza is requested or required. In essence, a currently vacant unit would be re-purposed to the new use. Thus, as zoning by-law amendments go, this is a very small and insignificant change in use.

CONFORMITY TO THE PROVINCIAL POLICY STATEMENT (2020)

The 2020 Provincial Policy Statement (PPS) will be applied to all planning applications beginning May 1, 2020. It provides policy direction on matters of

Application to Amend City of Belleville Zoning By-law 3014
406 Maitland Drive, Thurlow Ward – City of Belleville
Geertsma Homes Ltd

provincial interest related to land use planning and development. All decisions related to land use planning matters “shall be consistent with” the PPS.

It is relatively difficult to apply the policies of the 2020 PPS to this application because of the minor nature of the change being requested. Arguably the use of the subject property has been well established for nearly 30 years.

Nevertheless, the proposed zoning by-law amendment is consistent with the 2020 PPS in that:

- *Settlement areas shall be the focus of growth and development. (Policy 1.1.3.1.)*
- *Planning authorities shall promote economic development and competitiveness by:*
 - a) *providing for an appropriate mix and range of employment, institutional, and broader mixed uses to meet long-term needs;*
 - b) *providing opportunities for a diversified economic base, including maintaining a range and choice of suitable sites for employment uses which support a wide range of economic activities and ancillary uses, and take into account the needs of existing and future businesses; (Policy 1.3.1.)*
- Long-term economic prosperity should be supported by:
 - c) *optimizing the long-term availability and use of land, resources, infrastructure and public service facilities; (Policy 1.7.1)*

CONFORMITY TO THE CITY OF BELLEVILLE OFFICIAL PLAN

The subject property is designated “Industrial Land Use” on Schedule ‘B’ of the City of Belleville Official Plan as shown on **APPENDIX 6** (Official Plan Schedule ‘B’).

No Official Plan Amendment is required or requested to support this rezoning application. The proposed use of the subject lands adheres to the current and future Official Plan policies for the subject property and surrounding lands.

Application to Amend City of Belleville Zoning By-law 3014
406 Maitland Drive, Thurlow Ward – City of Belleville
Geertsma Homes Ltd

Specifically, Section 3.12.2 – Industrial Land Use Policies, subsection h, states:

- h) General commercial, and convenience or service commercial uses may be established within areas designated Industrial land use to provide services to workers within the industrial areas of the City and to those who may be passing through, provided that such developments are generally limited in scale and do not detract from the general purpose of such areas to provide for intensive industrial activities.

Clearly, the subject property is situated in a location where a relatively high volume of residential traffic passes by and where the use of a small portion of the plaza on the subject property would be used for the veterinarian clinic would be considered limited in scale.

Furthermore, this part of the City is placed in a special policy area that being, Special Policy Area # 5 – Cannifton Planning Area.

“The Cannifton Planning Area is dissected by Highways 62 and 37, and the Moira River. It is approximately 1,215 hectares in size and includes the existing settlement known as Cannifton. There are portions of this planning area that are fully developed for urban uses, but significant development potential exists for a variety of land uses throughout the planning area. This planning area is intended to accommodate a significant portion of the City’s future residential, commercial and industrial development.”

Specifically, Section 4.5.3 of the Official Plan outlines the permitted uses within the Commercial and Industrial Land Use designation of the Cannifton Planning Area as follows:

- c) *Uses permitted in the area designated Industrial land use in the Maitland/Parks Drive area may include various types of industrial uses but should generally be oriented to quasi-commercial and industrial uses, such as contractors yards, discount retail outlets, equipment rental establishments, truck terminals and depots, home improvement businesses, and similar uses that often exhibit both industrial and commercial characteristics. This area may be designated an enterprise zone by Council due to the variety of land uses within this area.*

Lastly, as part of the current program to update the City’s existing Official Plan, the City’s planning consultant prepared a Technical Brief on Emerging Policy Issues.

Application to Amend City of Belleville Zoning By-law 3014
406 Maitland Drive, Thurlow Ward – City of Belleville
Geertsma Homes Ltd

Included within that Technical Brief was a discussion and recommendations on how to promote intensification in the updated Official Plan. Recommendation 3 was to prepare a map of additional intensification areas.

Attached as **APPENDIX 7** (Additional Intensification Areas) is the map of Additional Intensification Areas that have been identified. The subject lands and all properties fronting onto Maitland Drive is one of the areas earmarked for intensification.

CONFORMITY TO ZONING BY-LAW 3014

As shown on **APPENDIX 8** (Zoning Map) the subject lands are currently zoned in the M1 – 16 Zone.

The use permitted in the M1-16 Zone are listed below:

(3239)

5.84 Notwithstanding the provisions of Section 6.15.1.2 to the contrary, on that part of Lot 5, Concession 3, shown as M1-16 on Schedule A1 as amended, the following special provisions shall apply in addition to all other applicable provisions of this By-law:

- 5.84.1 Non-residential uses may also include:
- Service oriented commercial shops
 - Business and professional offices
 - Restaurants and other eating establishments
 - Convenience retail
 - Personal service shop
 - Warehousing
 - Transportation and truck terminals

It is interesting to note that a personal service shop, professional office and a service orientated commercial shop are currently permitted uses on the subject property. Thus, arguably these permitted uses are not that different from a veterinarian clinic in that it is a form of, and not that far removed from a professional office or a personal service shop that in this case would provide a service to the general public by attending to their pets.

A personal service shop is defined as a building or part of a building in which persons are employed in furnishing services and otherwise administering to the individual and personal needs of persons, such as a barber's shop, a ladies hairdressing establishment or other similar services.

Application to Amend City of Belleville Zoning By-law 3014
406 Maitland Drive, Thurlow Ward – City of Belleville
Geertsma Homes Ltd

The zoning standards for the M1-16 Zone are outlined in Section 6.15.1.5 and 6.15.1.7 of Zoning By-law 3014 as shown on **APPENDIX 9** (M1 Zone Regulations).

The current and proposed use of the subject lands adheres to and exceeds all these zoning standards.

Lastly, it must be noted that if approved, the zoning by-law amendment allows an additional use on the subject lands. This new use would replace an existing use in an existing unit. Therefore, in terms of the need for parking, the generation of traffic and the demand for water and sanitary sewer service there will be an imperceptible change in use.

PLANNING OPINION AND CONCLUSION

This Planning Report was prepared in support of an application by GCL Developments Inc. for a Zoning By-law Amendment for the property municipally known as 406 Maitland Drive on which is currently situated a commercial plaza. The request is to add a veterinarian clinic as a permitted use.

As such, it is our professional opinion that the application for approval of a Zoning By-law Amendment for the subject property is:

- consistent with the policies of the 2020 Provincial Policy Statement;
- consistent with the policies contained in the City of Belleville Official Plan;
- in conformity with the M1 and M1-16 Zone requirements of Zoning By-Law 3014, and;
- represents good planning.

Please do not hesitate to contact me if you require anything further in support of the Zoning By-law Amendment application from Geertsma Homes Ltd.

Yours truly,



Spencer Hutchison, MCIP, RPP
Senior Associate Planner
RFA Planning Consultant Inc.



Att.

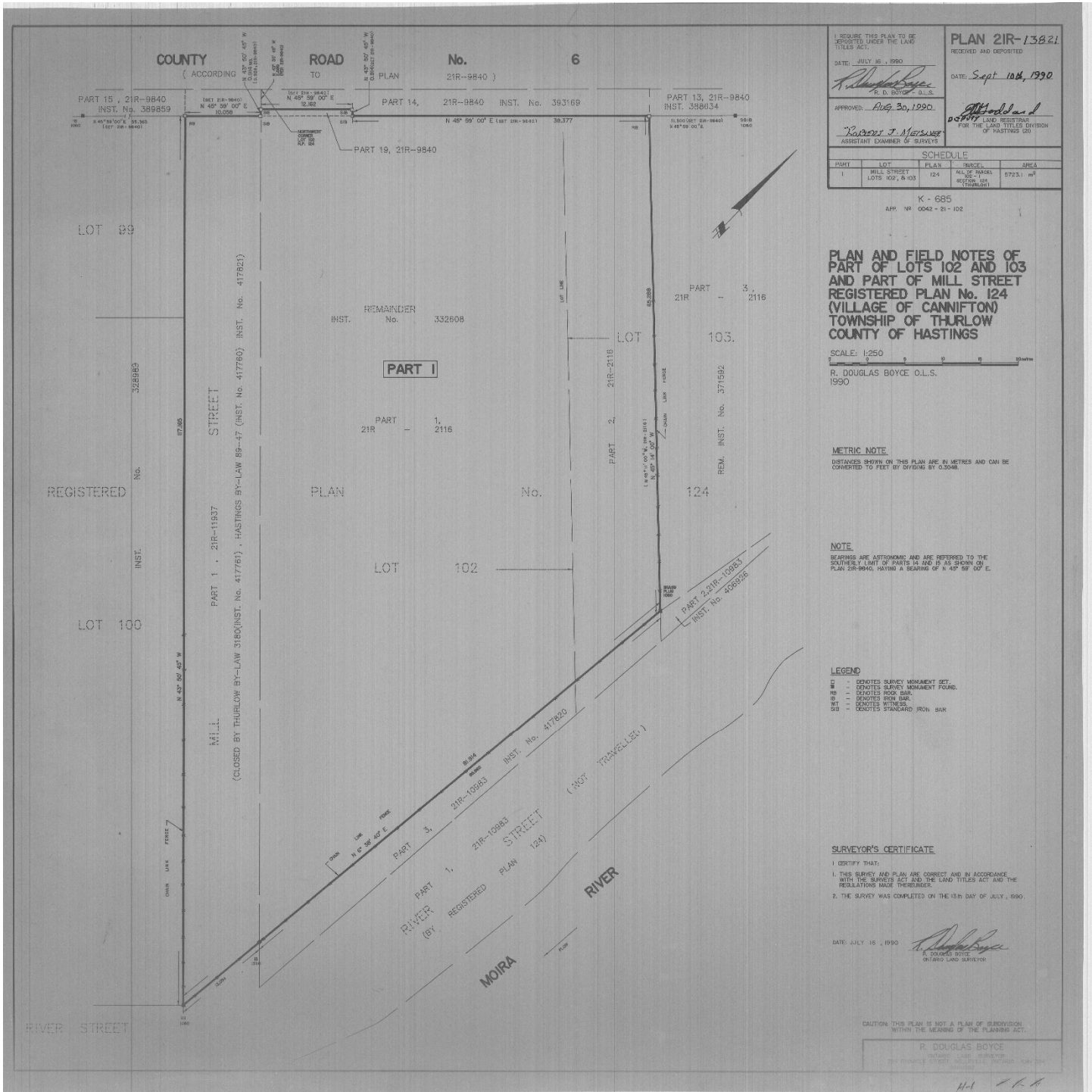
Application to Amend City of Belleville Zoning By-law 3014
406 Maitland Drive, Thurlow Ward – City of Belleville
Geertsma Homes Ltd

APPENDIX 1 – Location Map



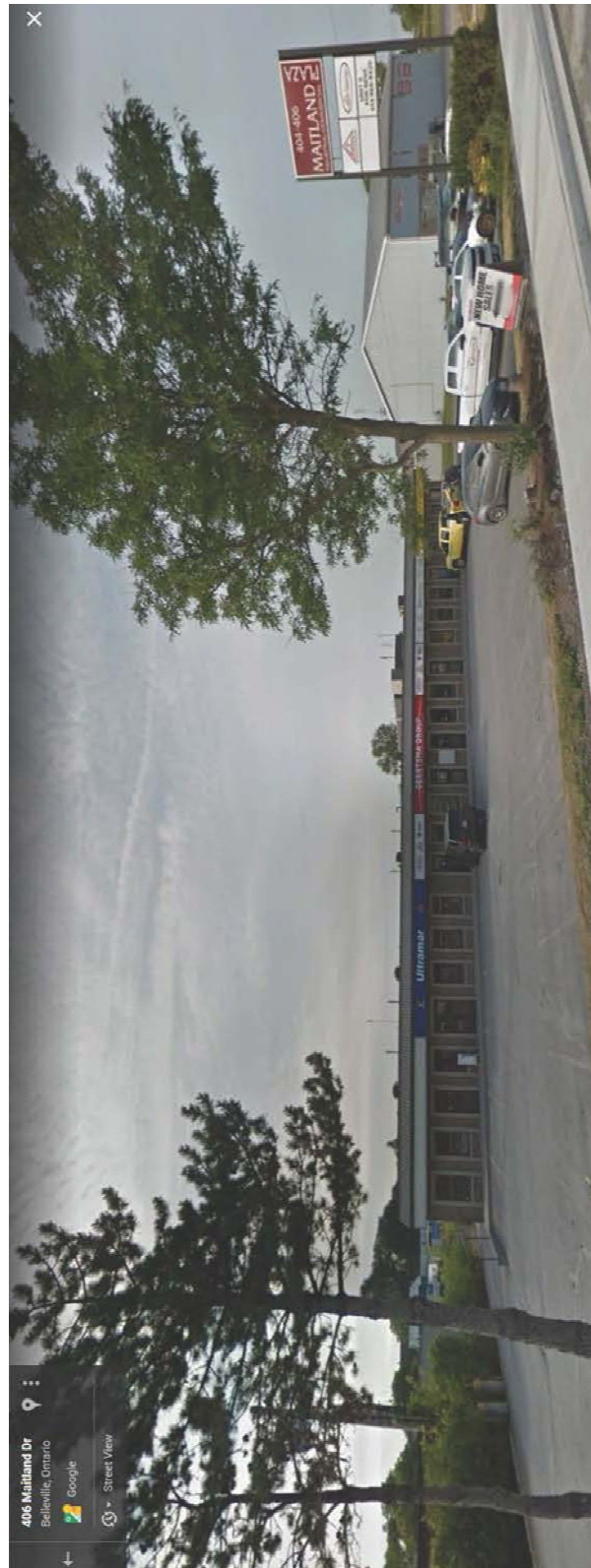
Application to Amend City of Belleville Zoning By-law 3014
 406 Maitland Drive, Thurlow Ward – City of Belleville
 Geertsma Homes Ltd

APPENDIX 2 – Survey of Subject Property



Application to Amend City of Belleville Zoning By-law 3014
406 Maitland Drive, Thurlow Ward – City of Belleville
Geertsma Homes Ltd

APPENDIX 5 – Street View



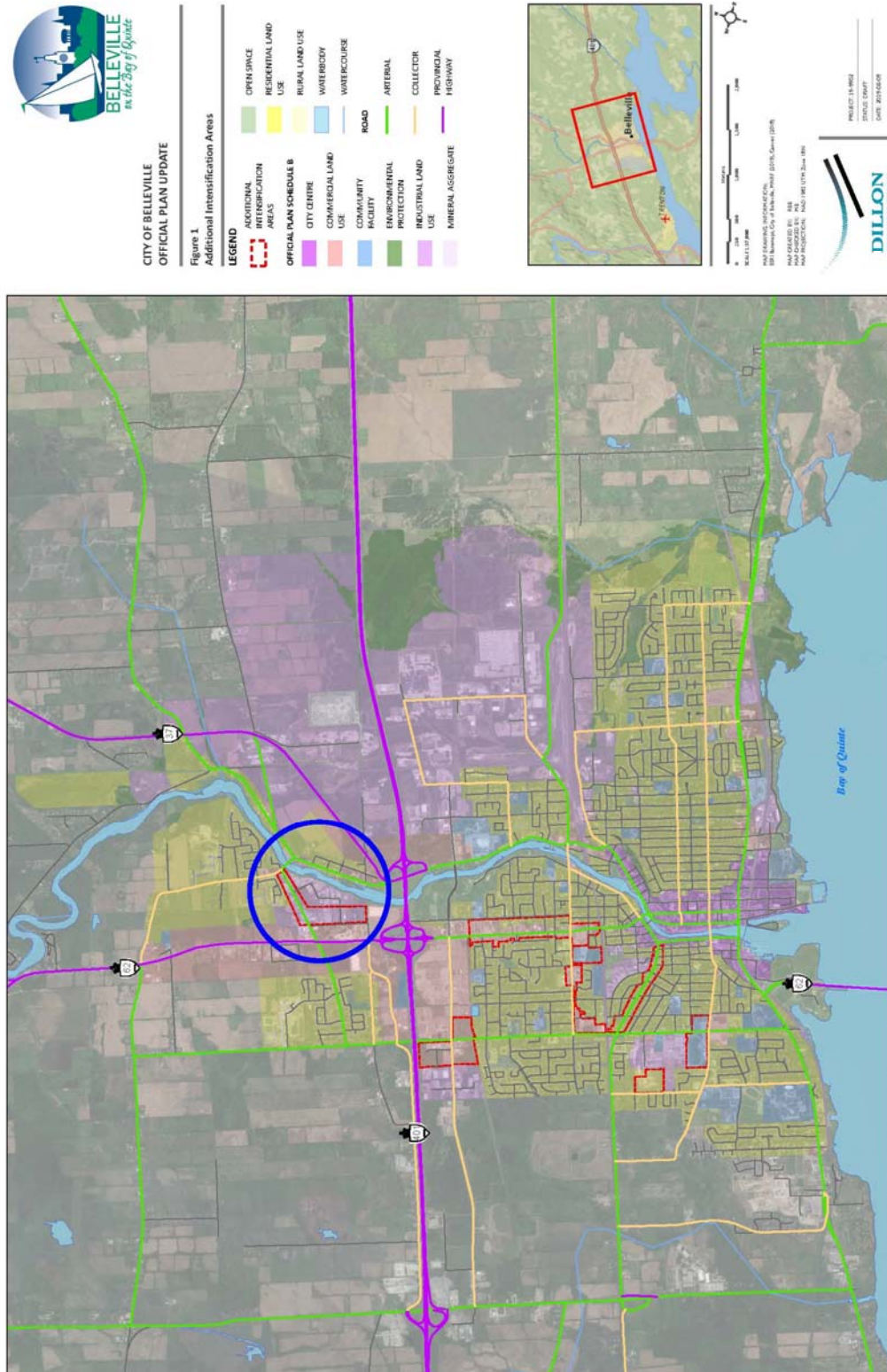
Application to Amend City of Belleville Zoning By-law 3014
406 Maitland Drive, Thurlow Ward – City of Belleville
Geertsma Homes Ltd

APPENDIX 6 – Official Plan Schedule 'B'



Application to Amend City of Belleville Zoning By-law 3014
406 Maitland Drive, Thurlow Ward – City of Belleville
Geertsma Homes Ltd

APPENDIX 7 – Additional Intensification Areas



Application to Amend City of Belleville Zoning By-law 3014
406 Maitland Drive, Thurlow Ward – City of Belleville
Geertsma Homes Ltd

APPENDIX 8 – Zoning Map



Application to Amend City of Belleville Zoning By-law 3014
406 Maitland Drive, Thurlow Ward – City of Belleville
Geertsma Homes Ltd

APPENDIX 9 – M1 Zone Regulations

SECTION 6 – ZONE PROVISIONS

6.15 – General Industrial (M1) Zone

6.15 GENERAL INDUSTRIAL (M1) ZONE

6.15.1 PERMITTED USES

No person shall within a General Industrial (M1) Zone use any land or erect, alter or use any building or structure except as permitted or required herein.

6.15.1.1 Residential uses

6.15.1.1.1 Single family dwelling house in association with a non-residential use

6.15.1.1.2 Dwelling unit in part of a non-residential building

6.15.1.2 Non-Residential uses

6.15.1.2.1 Assembly, fabricating, manufacturing or processing plants

6.15.1.2.2 Builders supply

6.15.1.2.3 Bulk storage

6.15.1.2.4 Contractors yard

6.15.1.2.5 Equipment, including farm equipment, rental, sales and service

6.15.1.2.6 Feed mill or seed cleaning plant

6.15.1.2.7 Lumber yard, sawmill or planning mill

6.15.1.2.8 Machine or welding shop

6.15.1.2.9 Motor vehicle body shop

6.15.1.2.10 Motor vehicle repair garage

6.15.1.2.11 Parking lot

6.15.1.2.12 Printing or publishing establishment

6.15.1.2.13 Public works depot

6.15.1.2.14 Retail Sales, in conjunction with and secondary to an approved non-residential use

6.15.1.2.15 Truck terminal

6.15.1.2.16 Warehouse

6.15.1.2.17 Wholesale establishment

6.15.1.2.18 Workshop

Application to Amend City of Belleville Zoning By-law 3014
406 Maitland Drive, Thurlow Ward – City of Belleville
Geertsma Homes Ltd

SECTION 6 – ZONE PROVISIONS
6.15 – General Industrial (M1) Zone

6.15.1.3 Accessory Uses

Uses buildings and structures accessory to any of the permitted uses in accordance with 4.1 of this By-law

6.15.1.4 REGULATIONS FOR RESIDENTIAL USES

The regulations for residential uses specified in 6.5 shall apply within the General Industrial (M1) Zone. In addition, the following requirements shall apply:

6.15.1.4.1 Minimum separation

Where a dwelling house is erected on any building or structure is altered or used as a dwelling house, such dwelling house shall not be located closer than 7.5 metres to a motor vehicle body shop or repair garage or 3.0 metres to any other permitted non-residential use.

6.15.1.4.2 Secondary use

The residential uses permitted on a lot in a General Industrial (M1) Zone shall be secondary and incidental to the permitted non-residential use of the lot and shall be for the sole use of the owner, manager or other employee of the non-residential use.

6.15.1.4.3 Dwelling unit in a non-residential building

6.15.1.4.3.1 Maximum number of dwelling units: 1

6.15.1.4.3.2 Dwelling unit area:

6.15.1.4.3.2.1 Bachelor: 42 sq. metres

6.15.1.4.3.2.2 Two bedrooms: 70 sq. metres

6.15.1.4.3.2.3 More than two bedrooms: 70 sq. metres plus 9 sq. metres for each additional bedroom

6.15.1.5 REGULATIONS FOR NON-RESIDENTIAL USES

6.15.1.5.1 Minimum lot area: 2800 sq. metres

6.15.1.5.2 Minimum lot frontage: 45 metres

6.15.1.5.3 Minimum ground floor area: none

6.15.1.5.4 Maximum lot coverage: 50 percent

6.15.1.5.5 Maximum height of building: subject to federal air space restrictions

6.15.1.5.6 Minimum landscaped open space: 5 percent

Application to Amend City of Belleville Zoning By-law 3014
406 Maitland Drive, Thurlow Ward – City of Belleville
Geertsma Homes Ltd

SECTION 6 – ZONE PROVISIONS**6.15 – General Industrial (M1) Zone**

6.15.1.5.7 Minimum yards

6.15.1.5.7.1 Front yard depth: 15 metres

6.15.1.5.7.2 Exterior side yard width: 15 metres

6.15.1.5.7.3 Interior side yard width: 3 metres

6.15.1.5.7.4 Interior side yard width abutting a residential zone: 15 metres

6.15.1.5.7.5 Rear yard depth: 12 metres

6.15.1.5.7.6 Rear yard depth abutting a Residential Zone: 15 metres

6.15.1.5.8 Driveways

6.15.1.5.8.1 Maximum width at property line: 9 metres

6.15.1.5.8.2 Minimum separation between driveways: 7.5 metres

6.15.1.5.9 Setback from centre line of street

6.15.1.5.9.1 Provincial highway: 33 metres

6.15.1.5.9.2 County or collector road: 28 metres

6.15.1.5.9.3 Township road: 25 metres

6.15.1.6 REGULATIONS FOR DETACHED ACCESSORY BUILDINGS

6.15.1.6.1 Exterior side yard width: 15 metres

6.15.1.6.2 Interior side yard width: 3 metres

6.15.1.6.3 Rear yard: 12 metres

6.15.1.6.4 Yard abutting a Residential Zone: 15 metres

6.15.1.7 REGULATIONS FOR OFF-STREET PARKING

Refer to Section 4.15

6.15.1.8 REGULATIONS FOR LOADING SPACES

Refer to Section 4.11

6.15.1.9 SPECIAL PROVISIONS

6.15.1.9.1 Planting strips or screens

Where the interior side or rear yard of a lot in a General Industrial (M1) Zone abuts a Residential Zone, the requirements of 4.16 of this By-law

Application to Amend City of Belleville Zoning By-law 3014
 406 Maitland Drive, Thurlow Ward – City of Belleville
 Geertsma Homes Ltd

SECTION 6 – ZONE PROVISIONS

6.15 – General Industrial (M1) Zone

shall apply.

6.15.1.9.2 Open storage

The outside display and storage of goods and materials where such are accessory and incidental to a permitted non-residential use is permitted in any yard or a lot in a General Industrial (M1) Zone except that in no circumstance shall such display or storage encroach upon the landscaped open space required herein.

6.15.1.9.3 Property abutting railway

Where a lot or portion thereof abuts a railway right-of-way no interior side or rear yard shall be required along that portion of such lot line which so abuts the railway right-of-way.

6.15.1.9.4 Gate house

A gate house shall be permitted in the front or side yard or in the area between the street line and the required set back of a lot in a General Industrial (M1) Zone.

6.15.1.9.5 Services

Where municipal water and/or sewer services are not available, industrial and commercial uses shall be restricted to those uses of a "dry" nature only. Uses of a dry nature shall mean those in which water is not necessary in the manufacturing, processing and/or fabrication of goods and materials, or those in which water is not necessary to provide a service or goods to the client group. These uses will not result in the need for water supply or sewage disposal systems, beyond those requirements normally considered necessary for the personal use of employees. Furthermore, the number of employees shall not exceed the capacity of individual, on-site services in terms of both water supply and sewage disposal.

M1-1 (Included in subsection 5.1)

(2003-41) 5.1 Notwithstanding the provisions of Section 6.15.1.2 within the area zoned M1-1 the permitted uses shall be restricted to a contractor's yard and mini-storage facility.

M1-2 (Included in subsection 5.2)

5.2 That part of Lot 2, Concession 2 lying to the south of Cloverleaf Drive shown as M1-2 on Schedule A1 shall be limited to the use as a warehouse for swimming pool supplies only.

OMB File No. R880022

M1-3 (Included in subsection 5.3)

5.3 That Part of Lot 2, Concession 3 lying to the north of Cloverleaf Drive shown as M1-3 on Schedule A1 shall be limited to the use as a sales, repair and body work garage for

Page 4

**THE CORPORATION OF THE CITY OF BELLEVILLE
BY-LAW NUMBER 2020-____**

**A BY-LAW TO AMEND BY-LAW NUMBER 30140, BEING A BY-LAW TO
REGULATE THE USE OF LAND AND THE HEIGHT, BULK, LOCATION, SIZE,
FLOOR AREA, SPACING, CHARACTER AND USE OF BUILDINGS**

THE COUNCIL OF THE CORPORATION OF THE CITY OF BELLEVILLE ENACTS AS
FOLLOWS:

1. THAT Subsection 5.84.1 of By-law 3014, as amended, that created the M1-16 Zone shall hereby be amended by adding an additional use to the end of this subsection as follows:
 - Veterinarian Clinic

2. THIS By-Law shall come into force and take effect on the day of passing thereof provided no notice of appeal is filed pursuant to the provisions of the Planning Act, R.S.O. 1990, as amended. In the event that an appeal is filed, this By-Law shall come into force and take effect in accordance with the provisions of the Planning Act, R.S.O. 1990.

Read a first time this **xxth** day of **June, 2020**.

Read a second time this **xxth** day of **June, 2020**.

Read a third time and finally passed this **xxth** day of **June, 2020**.

MITCH PANCIUK, MAYOR

MATT MACDONALD
CITY CLERK

STATEMENT OF PURPOSE AND EFFECT

OF BY-LAW NUMBER 2020-____

The purpose and effect of By-Law Number 2020-____ is to amend Zoning By-Law Number 3014, as amended, as it affects land described as Part 1 on Plan 21R-13821, municipally known as 406 Maitland Drive in the City of Belleville, County of Hastings, to allow a Veterinarian Clinic as part of the existing plaza on this property.

PP-2020-27

Attachment #6
Google Photos

June 1, 2020

Google Maps 406 Maitland Dr



Map data ©2020, Map data ©2020 10 m



406 Maitland Dr

Belleville, ON K8N 4Z5



Directions



Save



Nearby



Send to your phone



Share

Photos



At this location

Ultramar Energy

1.0 ★★★★★ (1)

Heating oil supplier · 406 Maitland Dr

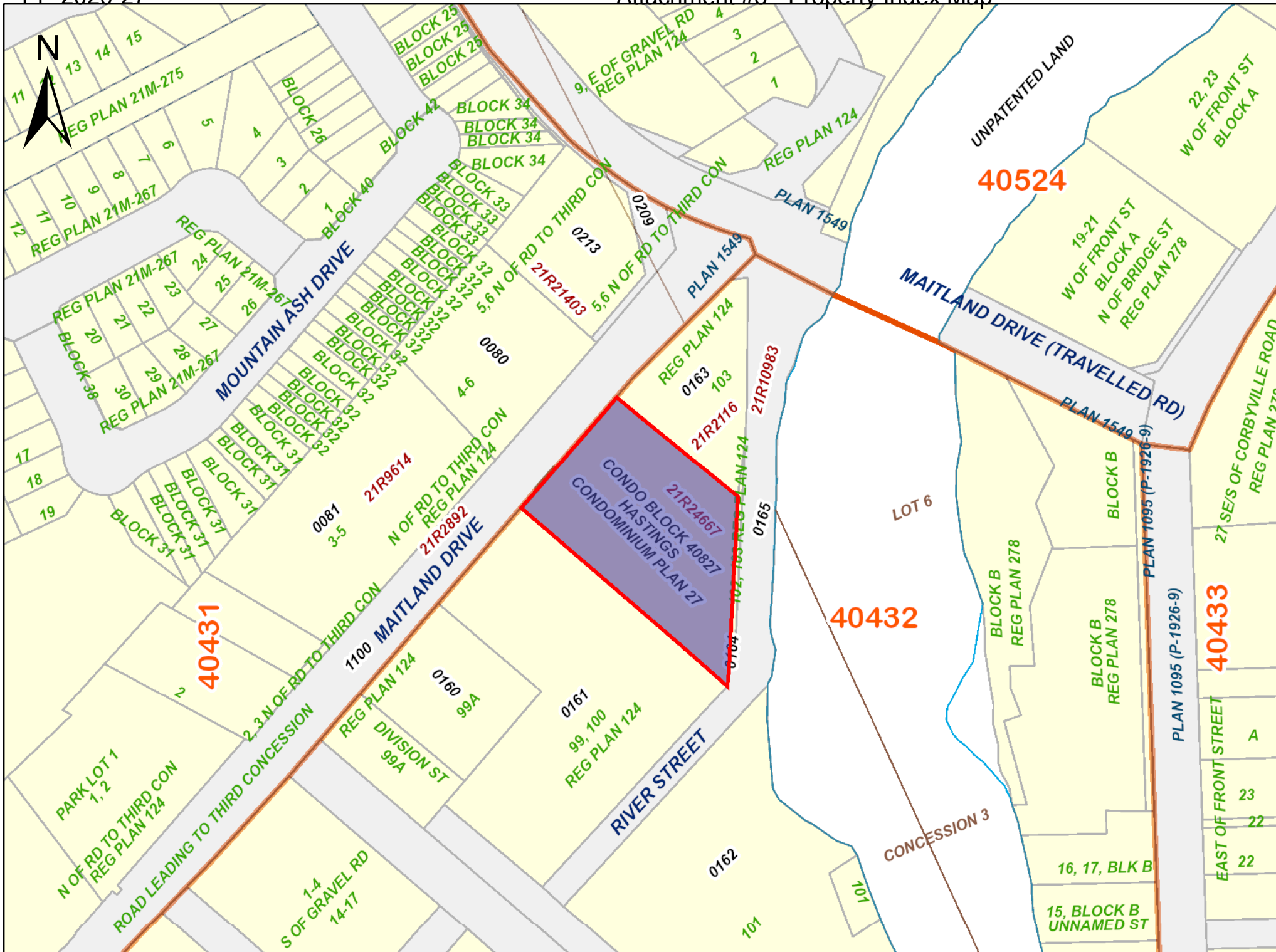






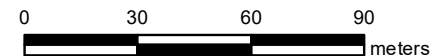






PRINTED ON 14 APR, 2020 AT 12:55:01
FOR RFA

SCALE



PROPERTY INDEX MAP
HASTINGS(No. 21)

LEGEND

- FREEHOLD PROPERTY
- LEASEHOLD PROPERTY
- LIMITED INTEREST PROPERTY
- CONDOMINIUM PROPERTY
- RETIRED PIN (MAP UPDATE PENDING)
- PROPERTY NUMBER
- BLOCK NUMBER
- GEOGRAPHIC FABRIC
- EASEMENT

THIS IS NOT A PLAN OF SURVEY

NOTES

REVIEW THE TITLE RECORDS FOR COMPLETE PROPERTY INFORMATION AS THIS MAP MAY NOT REFLECT RECENT REGISTRATIONS

THIS MAP WAS COMPILED FROM PLANS AND DOCUMENTS RECORDED IN THE LAND REGISTRATION SYSTEM AND HAS BEEN PREPARED FOR PROPERTY INDEXING PURPOSES ONLY

FOR DIMENSIONS OF PROPERTIES BOUNDARIES SEE RECORDED PLANS AND DOCUMENTS

ONLY MAJOR EASEMENTS ARE SHOWN

REFERENCE PLANS UNDERLYING MORE RECENT REFERENCE PLANS ARE NOT ILLUSTRATED



PP-2020-27

Attachment #9
Plan of Survey

June 1, 2020

LEVEL I
UNITS 1 TO 12 INCLUSIVE

REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF HASTINGS (No. 2) AT 1:03 O'CLOCK ON THE 15th DAY OF November, 1990.

DEPT. LAND REGISTRAR

APPROVED IN ACCORDANCE WITH SUBSECTION 3(36) OF REGULATION 898.

NOVEMBER 14, 1990 R. PAUL MADAN
DATE EXAMINER OF SURVEYS

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT AND THE CONDOMINIUM ACT AND THE REGULATIONS MADE THEREUNDER.
2. THE SURVEY WAS COMPLETED ON THE 2nd DAY OF OCTOBER, 1990.

OCTOBER 4th 1990
DATE R. DOUGLAS BOYCE
ONTARIO LAND SURVEYOR

DECLARATION REGISTERED AS NUMBER 26983
ALL OF PARCEL 102-1, SECTION 124 (THURLOW)

Part 1 to 3 are hereby exempted under section 64(3) of the CONDOMINIUM ACT
This is the City of Newmarket

Joseph P. Havelton
Manager
Plans Administration Branch
North and East
Ministry of Municipal Affairs

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

UNIT DEFINITION
MONUMENTS CONTROLLING THE EXTENT AND LOCATION OF THE UNITS ARE THE WALLS, THE DOORS AND CEILINGS AS MORE PARTICULARLY DESCRIBED IN SCHEDULE 'C' OF THE DECLARATION.

- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT SET
 - DENOTES SURVEY MONUMENT
 - ▬ DENOTES SHORT STANDARD IRON BAR
 - ▬ DENOTES IRON BAR
 - ▬ DENOTES WALTERS WALL
 - ▬ DENOTES WATSON O.L.S.
 - ▬ DENOTES FACE OF STRUCTURAL WALL
 - ▬ DENOTES UNIT BOUNDARY AND EXTENT OF COMMON ELEMENTS
 - ▬ DENOTES STRUCTURAL STEEL COLUMN NOT PART OF THE UNIT
 - ▬ DENOTES R. DOUGLAS BOYCE O.L.S.

NOTE
THE ASTONISHING AND ARE REFERRED TO THE SOUTHERLY LIMIT OF PARTS 14 AND 15 PLAN 21R-9840 HAVING A BEARING OF N 45° 59' 00" E.

OWNER'S CERTIFICATE
THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN LAID OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH MY INSTRUCTIONS.

GEERTSMA CONSTRUCTION LTD.

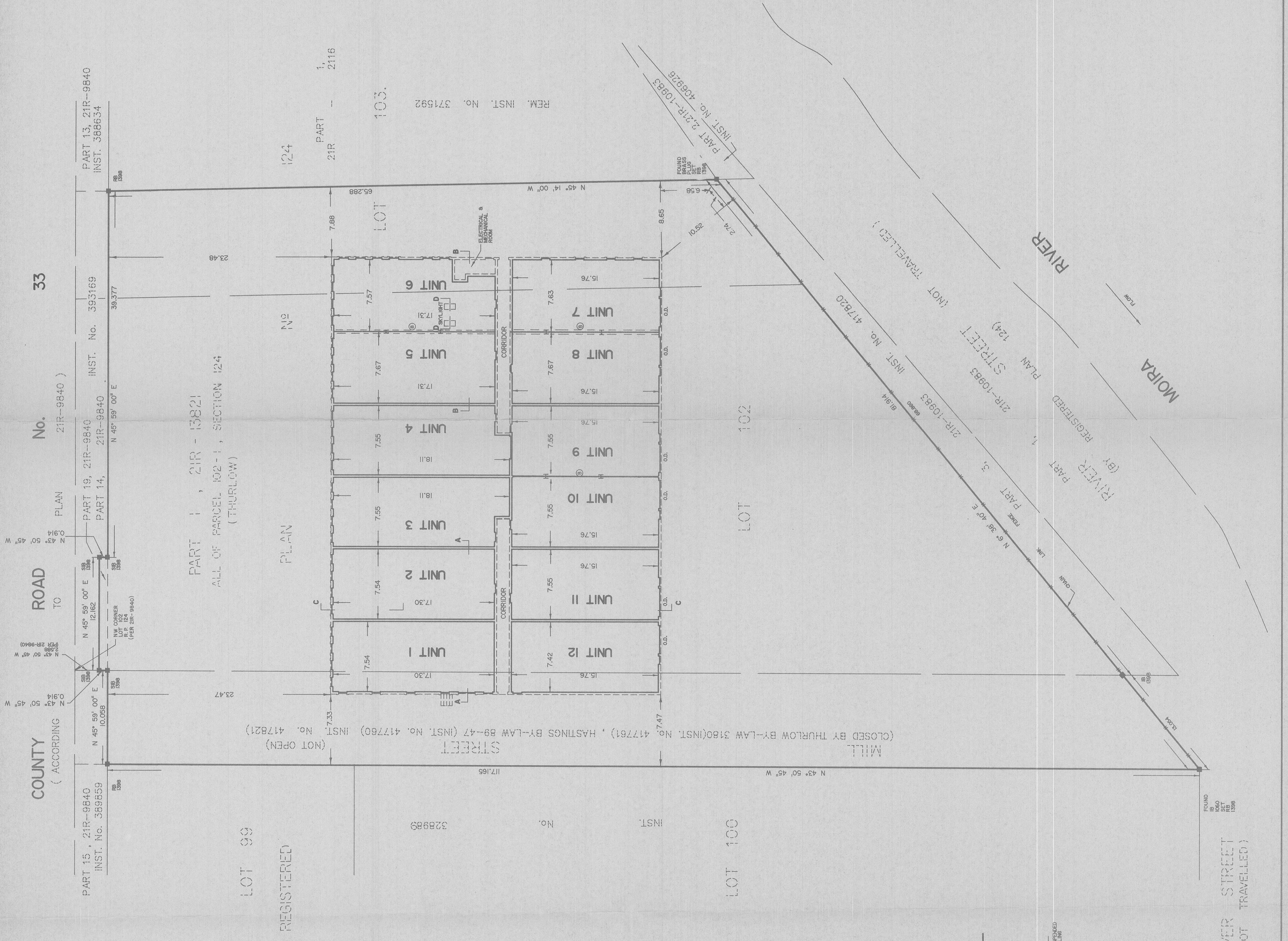
DECEMBER 5th 1990
DATE PRESIDENT A. GEERTSMA

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THE BUILDINGS HAVE BEEN CONSTRUCTED AND THAT THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE AND SUBSTANTIALLY IN ACCORDANCE WITH THE STRUCTURAL PLANS.

OCTOBER 4th 1990
DATE R. DOUGLAS BOYCE
ONTARIO LAND SURVEYOR

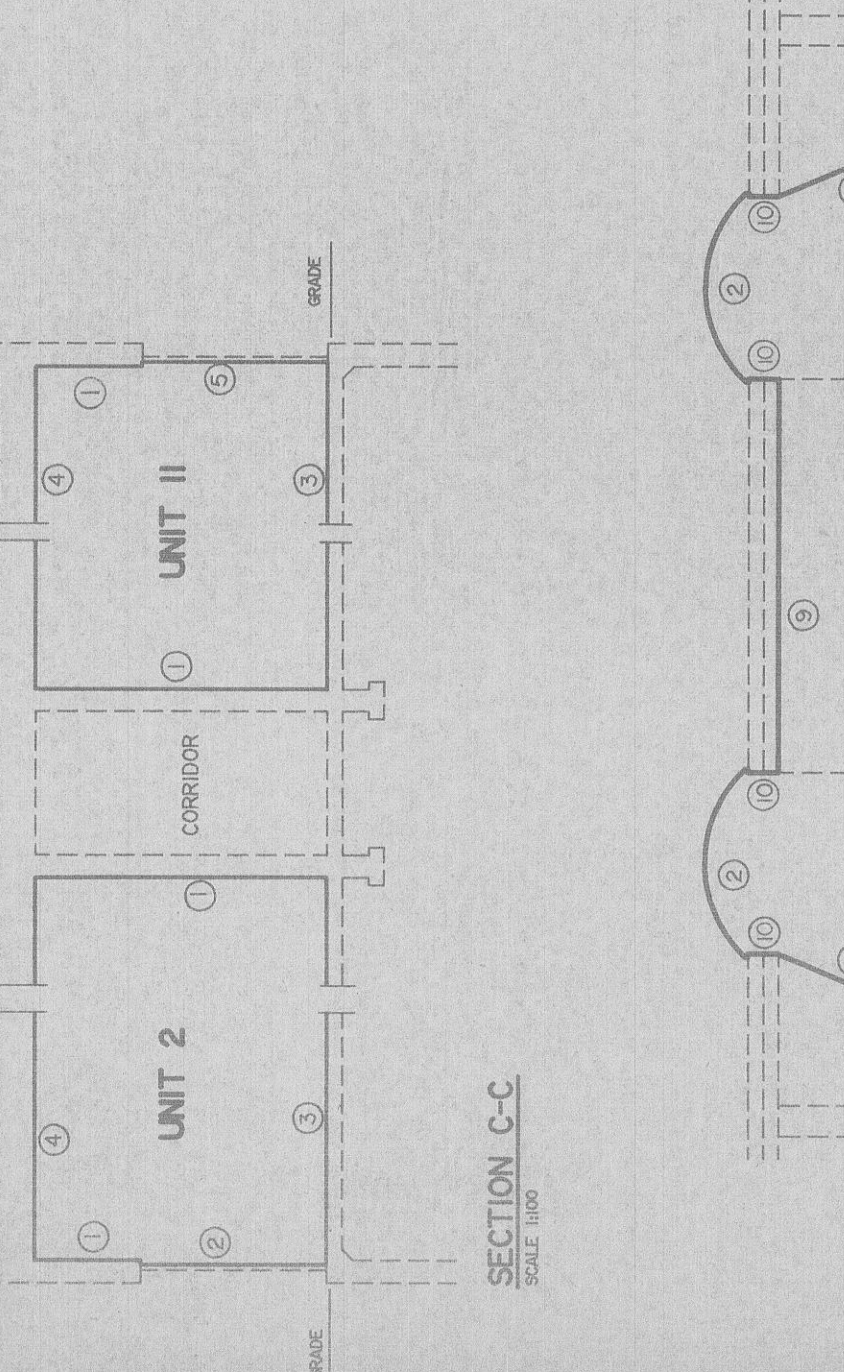
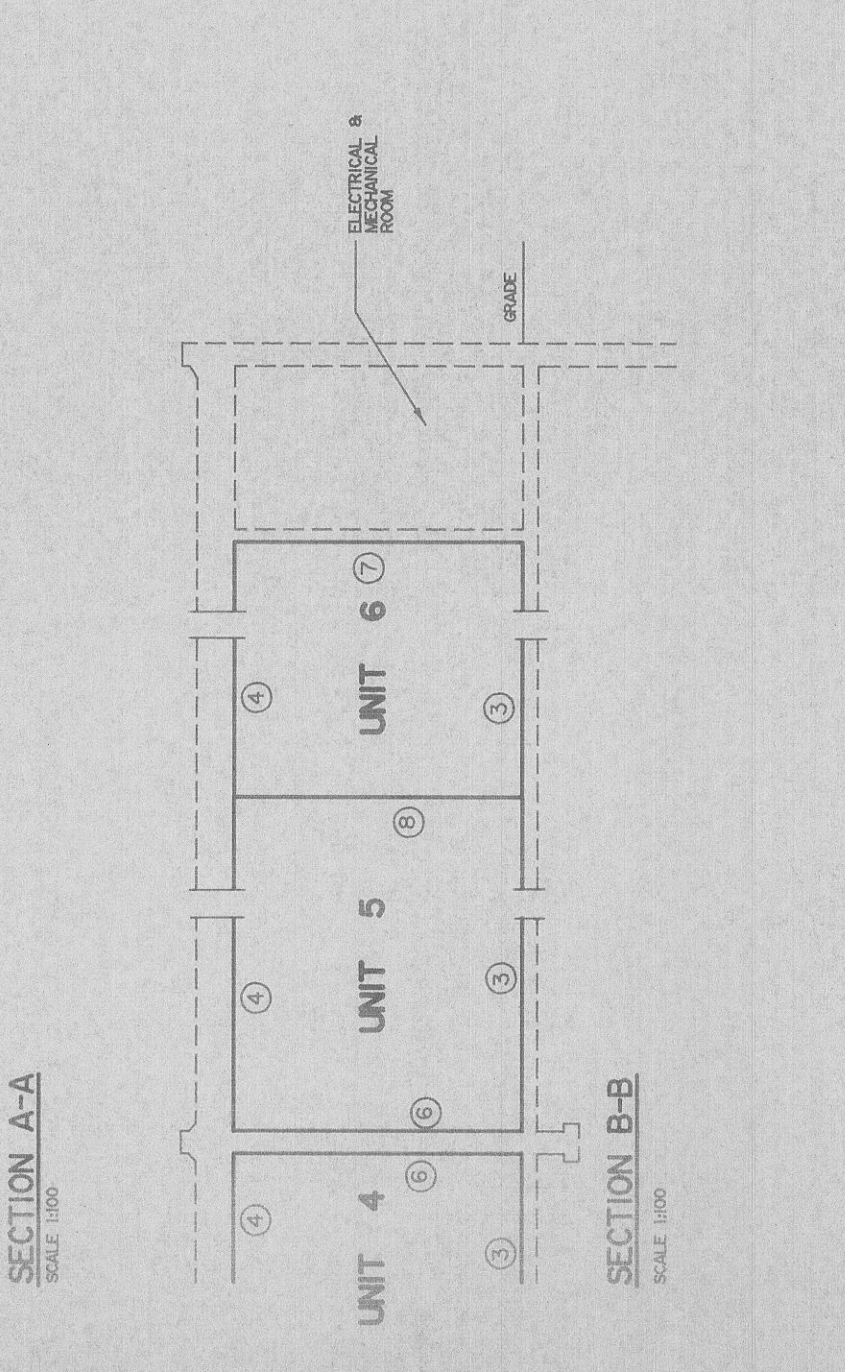
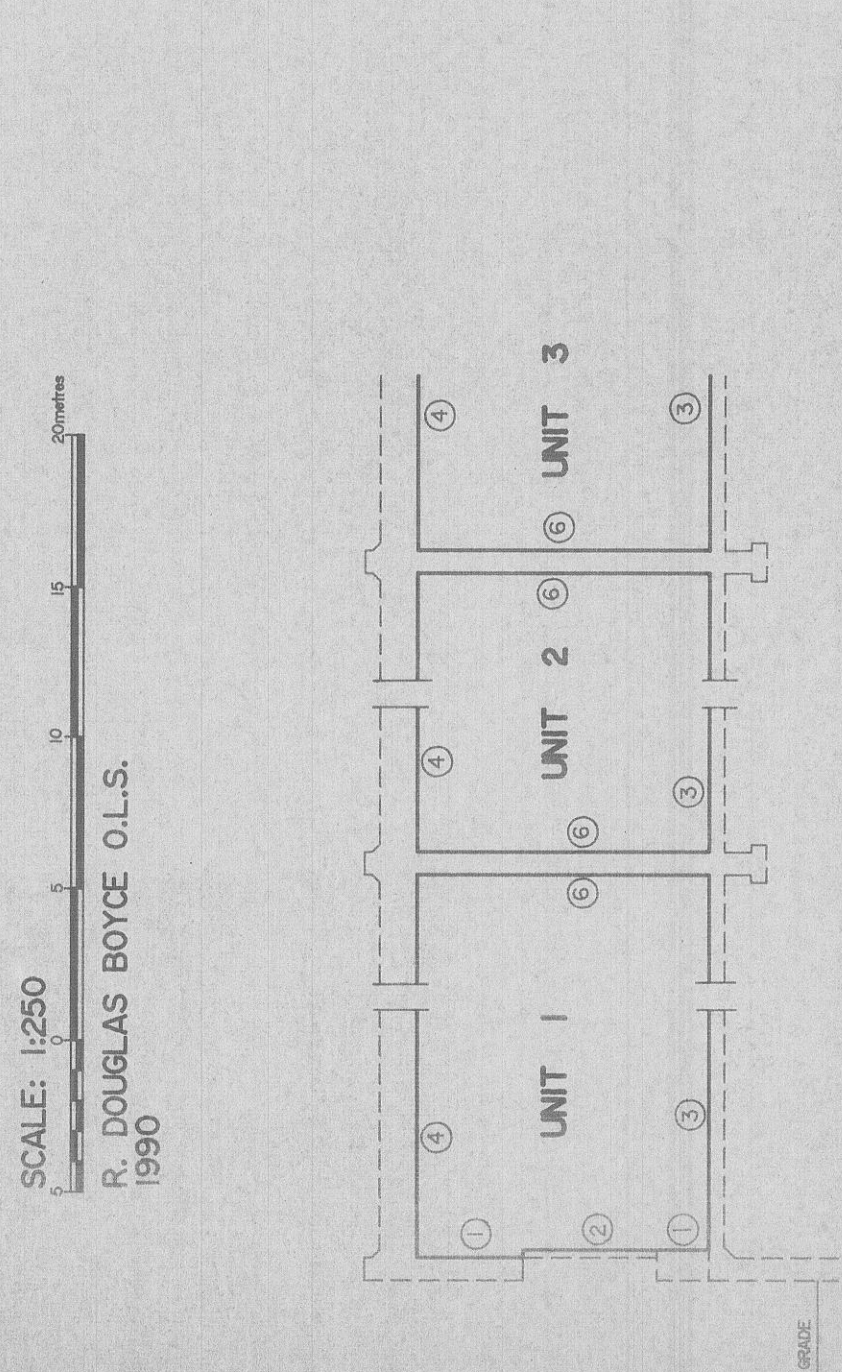
R. DOUGLAS BOYCE
ONTARIO LAND SURVEYOR
354 PINNACLE STREET, BELLEVILLE, ONTARIO K8N 3K4
96-1995
89-7900

THIS PLAN CONSISTS OF THE FOLLOWING PARTS:-
PART 1 : SHEET 1 PLAN OF SURVEY SHOWING THE PERIMETER OF THE PLAN OF BUILDING AND THE DESIGNATION OF UNITS ON LEVEL I.
PART 2 : DESIGNATION OF THE EXCLUSIVE USE PORTIONS OF THE COMMON ELEMENT.
PART 3 : SHEETS 1 TO 19 INCLUSIVE STRUCTURAL PLANS OF BUILDING.



PLAN OF SURVEY PART OF LOTS 102 AND 103 AND PART OF MILL STREET REGISTERED PLAN No. 124 (VILLAGE OF CANNIFTON) TOWNSHIP OF THURLOW COUNTY OF HASTINGS

SCALE: 1:250
R. DOUGLAS BOYCE O.L.S.
1990



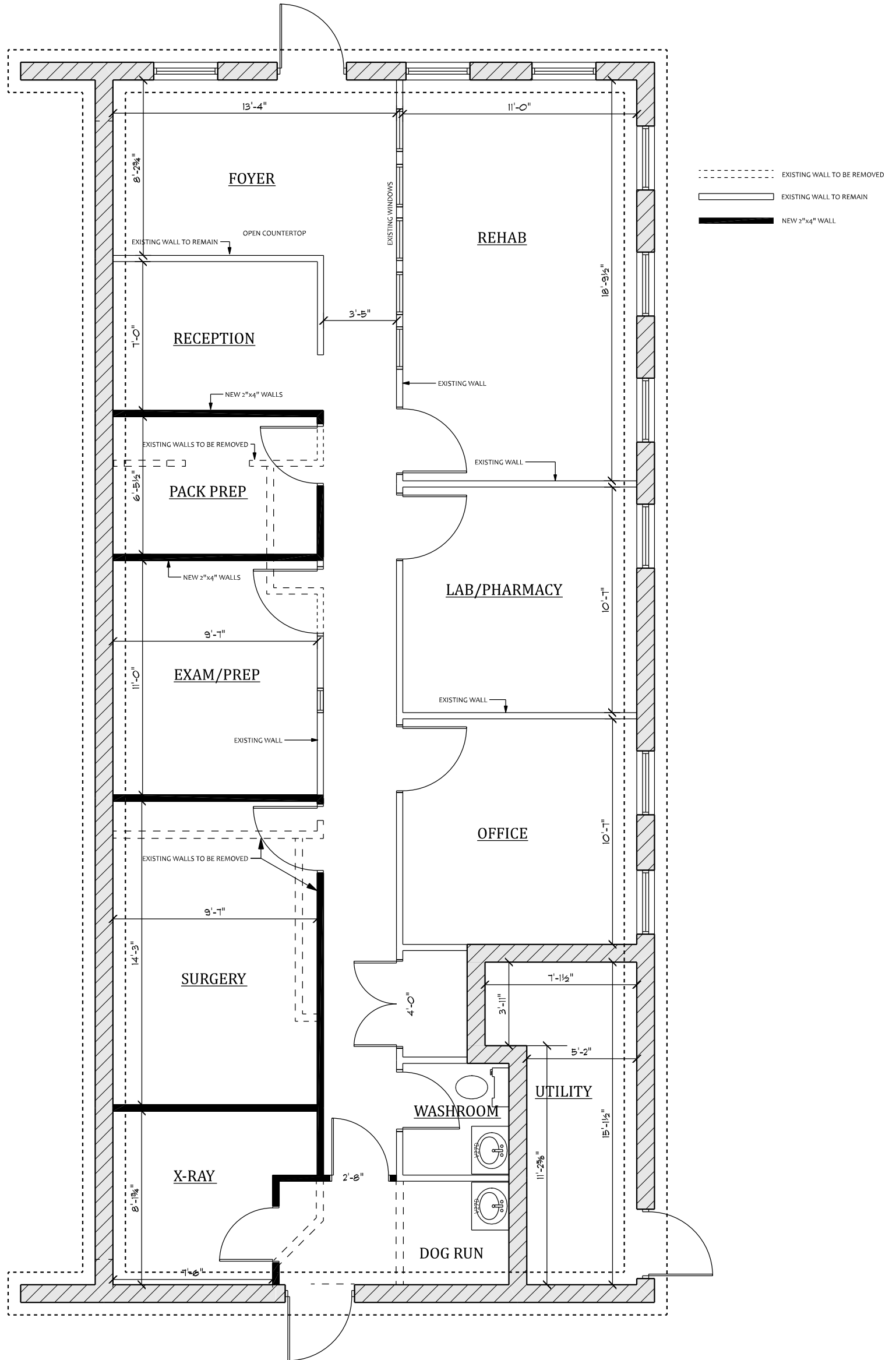
- SECTION D-D**
NOT TO SCALE
- LEGEND**
- 1 THE UNIT SIDE FACES OF ANY EXTERIOR MASONRY WALLS AND THE PRODUCTION OF SUCH SURFACES ACROSS ANY OPENINGS THEREIN.
 - 2 THE UNFINISHED INTERIOR SURFACE OF ALL EXTERIOR DOORS, DOOR FRAMES, WINDOW FRAMES, SILLPORT FRAMES AND THE INTERIOR SURFACE OF THE CONCRETE FLOOR.
 - 3 THE UPPER SURFACE OF THE CONCRETE FLOOR.
 - 4 THE LOWER LINE AND FACE OF THE STEEL ROOF JOISTS.
 - 5 THE UNIT SIDE FACE OF THE OVERHEAD DOOR ASSEMBLY IN A UNIT.
 - 6 THE UNIT SIDE FACE OF THE MASONRY WALL BETWEEN THE UNITS AND THE PRODUCTION OF SUCH SURFACES ACROSS ANY OPENINGS THEREIN.
 - 7 THE UNIT SIDE FACE OF THE MASONRY WALLS IN THE VICINITY OF THE ELECTRICAL AND MECHANICAL ROOM.
 - 8 THE ENTIRE LINE AND FACE OF THE STRUCTURAL STEEL COLUMNS BETWEEN UNITS AND THE PRODUCTION THEREOF OF THE STEEL ROOF DECK.
 - 9 THE LOWER SURFACE OF STEEL ROOF DECK.
 - 10 THE ENTIRE LINE AND FACE OF THE STEEL ROOF JOISTS.
 - 11 THE LOWER LINE AND PRODUCTION THEREOF OF THE STEEL ROOF JOISTS.

PP-2020-27

Attachment #10
Proposed Floor Plan

June 1, 2020

THESE PLANS FORM THE BASIS FOR PERMIT ISSUANCE AND ANY DEVIATIONS FROM THESE PLANS AND DETAILS, INCLUDING THE VENTILATION SYSTEM, HEATING SYSTEM, WOODSTOVE, FIREPLACES, DECKS, BALCONIES, AND FINISHED BASEMENTS, WILL REQUIRE A REVISED DRAWING AND CLEARANCE FROM THE BUILDING DEPARTMENT



**PROPOSED UNIT
UNIT 6 - 406 MAITLAND DRIVE
MAITLAND PLAZA, BELLEVILLE**

I TONY ENGELSDORFER HAVE REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK AND AM QUALIFIED IN THE APPROPRIATE CATEGORY AS "OTHER DESIGNER" UNDER DIV. C. 3.2.6.1. OF THE 2012 ONTARIO BUILDING CODE.

BCIN No: 37422
DATE: JULY 27, 2017
SIGNATURE:

THIS DESIGN AND CONSTRUCTION DRAWING IS THE PROPERTY OF GEERTSMA HOMES LTD. AND IS NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION

| No. | DESCRIPTION | DATE |
|-----|-------------|------|
| 1 | | |
| 2 | | |
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| 5 | | |

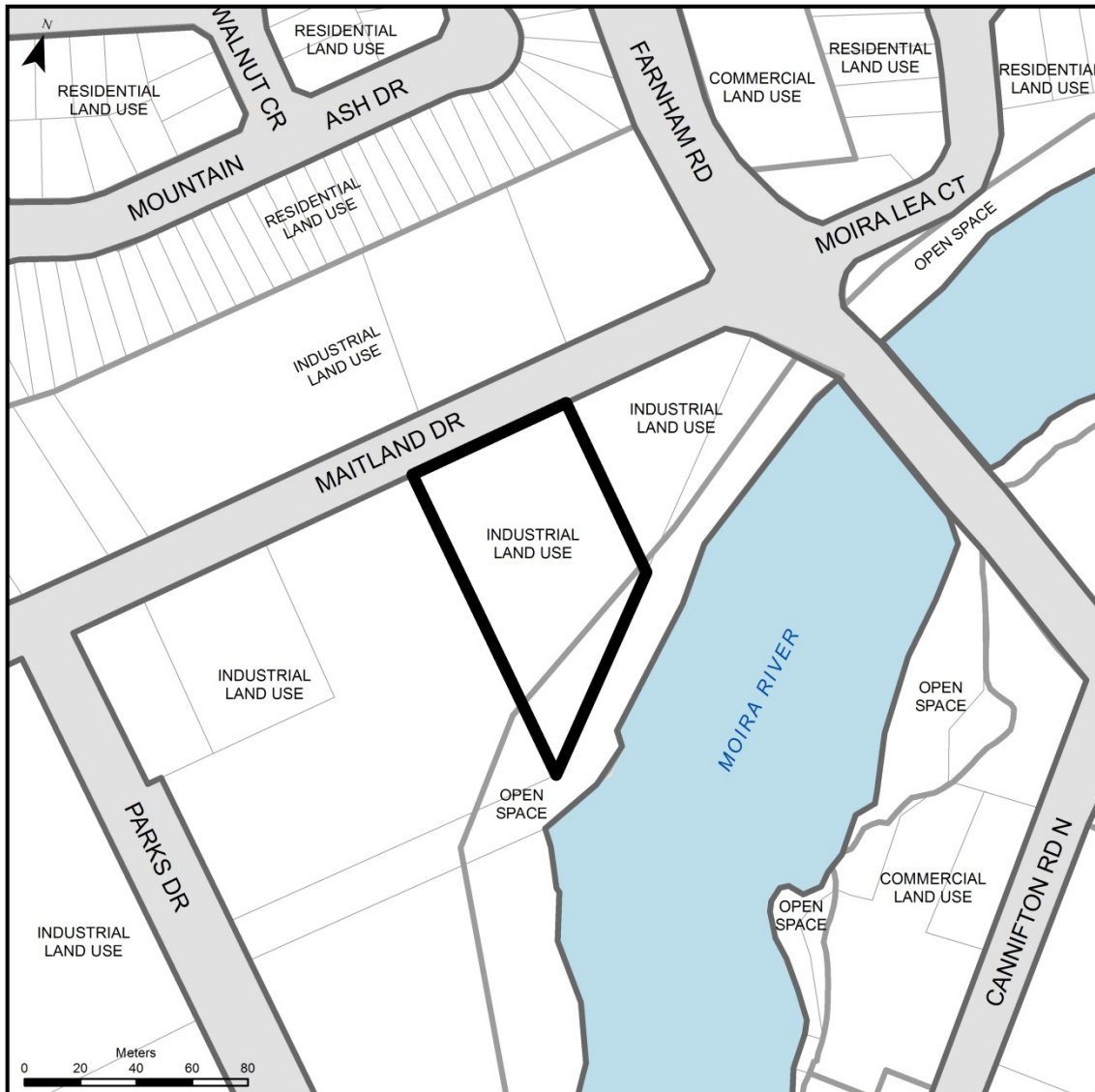
| | |
|-------------|-----------------|
| BCIN * | 37422 |
| REVIEWED BY | T. ENGELSDORFER |
| DATE | APRIL 2020 |

| | |
|------------|------------|
| REVIEWED | |
| DRAWN BY: | B. PERTSCH |
| AUTHORIZED | |

| | |
|----------------|----------------------------|
| PROJECT | 406 MAITLAND DRIVE UNIT 6 |
| PROJECT NUMBER | |
| DRAWING NAME | PROPOSED UNIT 6 FLOOR PLAN |

| | |
|-----------|--------------|
| SHEET No. | 394 |
| SCALE | 3/4" = 1'-0" |

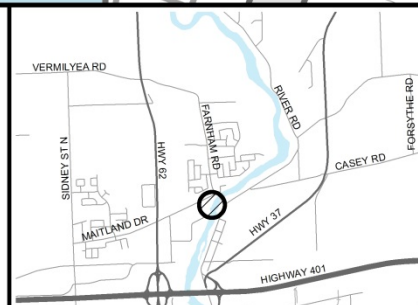




LOCATION MAP LAND USE

LOCATION: 406 MAITLAND DR

 - SUBJECT LANDS



CITY OF BELLEVILLE
ENGINEERING & DEVELOPMENT
SERVICES DEPARTMENT

B-77-1110

Engineering and Development Services Department (Policy Planning Section)
Official Plan and Zoning By-Law Amendment Monitoring Report
(Shaded Area Indicates that Application is Complete)

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| B-77-1021 | Reginald & Janette Barkema/ G.D. Jewell Engineering Inc. c/o Steve Harvey | Trinity Court - Part Lot 2, Concession 3, Formerly Township of Thurlow Zoning By-Law amendment to permit a range of single detached residential lots and townhomes | PP 17-26 APS 18-07 | | Mar 21/17 | Apr 11/17 | May 1/17 Mar 5/18 | Deferred at PAC, Draft Plan of Subdivision approved - Zoning By-law to be addressed later | | | | | | |
| B-77-1040 | Rosebush Properties Inc./ Bel-Con Design-Builders Ltd. | 330 College Street East Zoning By-Law amendment to permit a convenience store and associated gas bar in addition to the permitted uses of the zone | PP 18-02 | | Jan 10/18 | Feb 13/18 | Mar 15/18 | Deferred at PAC, awaiting revised Site Plan based on CN comments | | | | | | |
| B-77-1058 | Paramathas Joseph Agent: Chris Nava | 55 South Church Street Zoning By-law amendment to rezone from (R2-1) to (R3) to permit a semi-detached dwelling | PP-2018-36 | | Aug 21/18 | Sept 6/18 | Oct 1/18 | N | Oct 9/18 | DENIED | | Oct 12/18 | Nov 9/18 | APPEALED Appeal Dismissed Mar 26/20 |
| B-77-1059 | Panagiotis Karaglaus Agent: Chris Nava | 59 South Church Street Zoning By-law amendment to rezone from (R2-1) to (R3) to permit a semi-detached dwelling | PP-2018-37 | | Aug 21/18 | Sep 6/18 | Oct 1/18 | N | Oct 9/18 | DENIED | | Oct 12/18 | Nov 9/18 | APPEALED Appeal Dismissed Mar 26/20 |
| B-77-1079 | Agent/Applicant: RFA Planning Owner: Heritage Park J/V | 427 Farnham Road Zoning By-law amendment to Zoning By-law 3014 to permit 13 townhouse units with reduced setbacks and increased lot coverage | PP-2019-28 PP-2019-45 PP-2019-46 | 2019-135 | Feb 27/19 | Mar 6/19 May 10/19 | Apr 1/19 Jun 3/19 Jul 2/19 | Applicant to review public concerns and re-submit Public Meeting for Revised Application Y Jul 8/19 N Jul 12/19 Aug 1/19 APPEALED Appeal withdrawn February 18, 2020 - FILE CLOSED | | | | | | |
| B-77-1081 | Agent/Applicant/Owner: City of Belleville "AGRI-TOURISM" | Belleville, Thurlow, Sidney Zoning By-law amendment to 10245, 3014 & 2076-80 to define agri-tourism | PP-2019-34 | | Mar 27/19 | Apr 17/19 | May 6/19 Jun3/19 | Gathering more Information | | | | | | |
| B-77-1084 | Owner/Applicant: Mark Glassford | 9 & 13 Wilkie Street Zoning By-law amendment to Zoning By-law 10245 to rezone lands to recognize the existing dwelling units on the property | PP-2019-42 | | May 1/19 | May 15/19 | Jun 3/19 | Staff Still Reviewing Comments | | | | | | |
| B-77-1087 | Applicant/Owner: John Royle Agent: Keith Watson, OLS | 18 St. Paul Street Zoning By-law amendment to Zoning By-law 10245 to rezone lands from Residential Second Density (R2-1) to Residential Third Density (R3-2) to permit a semi-detached dwelling with reduced yard setbacks. | PP-2019-55 PP-2020-09 | 2020-30 | Jul 5/19 | Aug 9/19 | Sept 3/19 Feb 3/20 | Staff waiting for Health & Safety By-law before making a recommendation Y Feb 10/20 Y 220 Days Feb 12/20 Mar 3/20 Mar 4/20 | | | | | | |

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| B-77-1093 and B-50-3-29 | Applicant: Algonquin and Lakeshore Catholic District School Board Owner: Algonquin and Lakeshore Catholic District School Board Agent: Todd Colbourne - Colebourne & Kembel, Achitects Inc. | 375 to 405 Bridge Street East and 172 to 184 Herchimer Avenue Requesting a portion of the subject lands be re-designated from "Residential" to "Community Facility" in the Official Plan and to amend Zoning By-law 10245 to rezone the lands from Residential Zones R2, R2-3, and R5-12 and Community Facility (CF) Zone to site-specific Community Facility (CF) Zone with special provisions | PP-2019-79 PP-2019-88 | 2019-220 2019-221 | Sep 13/19 | Oct 11/19 | Nov 4/19 Dec 2/19 | Y | Dec 9/19 | Y | 87 Days | Dec 11/19 | Dec 31/19 | Jan 2/20 |
| B-77-1094 | Applicant: Joseph Chacko Owner: MHA Properties Ltd. Agent: N/A | 199 Dundas Street East Zoning By-law amendment to Zoning By-law 10245 to rezone subject lands from Highway Commercial (C3) Zone to Highway Commercial (C3) Zone with special provisions to permit a medical clinic | PP-2019-83 PP-2020-01 | 2020-04 | Oct 30/19 | Nov 8/19 | Dec 2/19 Jan 6/19 | Y | Jan 13/20 | Y | 75 Days | Jan 15/20 | Feb 4/20 | Feb 5/20 |
| B-77-1095 | Applicant/Owner: UCB Canada Agent: Investment Management Syndicate LTD (IMS) | 8 and 12 King Street Zoning By-law amendment to Zoning By-law 10245 to rezone subject lands from Highway Commercial (C3) Zone to General Commercial (C2) Zone with special provisions to permit a parking lot associated with the property located at 2 Dundas Street West | PP-2019-84 PP-2020-02 | 2020-05 | Oct 30/19 | Nov 8/19 | Dec 2/19 Jan 6/19 | Y | Jan 13/20 | Y | 75 Days | Jan 15/20 | Feb 4/20 | Feb 5/20 |
| B-77-1096 and B-50-3-30 | Applicant/Owner: GCL Developments Agent: Lorelei Jones of Macauley Shiomi Howson Ltd. | Part of Park Lots 8 & 9, Registered Plan 124, and Part of Lot 8, Concession 3 Requesting to adjust the boundaries of the "Residential" and "Open Space" designations in the Official Plan and to amend zoning By-law 3014 to rezone subject lands to permit a range of housing types and parkland area | PP-2019-85 PP-2020-03 | 2020-06 2020-07 | Oct 30/19 | Nov 8/19 | Dec 2/19 Jan 6/19 | Y | Jan 13/20 | Y | 75 Days | Jan 15/20 | Feb 4/20 | Feb 5/20 |
| B-77-1097 | Applicant: John Scheerhoorn Owner: 732676 Ontario Inc. Agent: N/A | 125 Mitchell Road, Pt Lt 25, Con 1 Parts 1-6, Plan 21R-25511 Zoning By-law amendment to Zoning By-law 3014 to rezone subject lands from Prime Agriculture (PA) Zone to Rural Residential (RR) Zone and Rural (RU) Zone as a condition of consent | PP-2020-04 PP-2020-07 PP-2020-16 | 2020-45 | Nov 18/19 | Dec 12/19 | Jan 6/20 Feb 3/20 Mar 2/20 | Y | Mar 9/20 | Y | 112 Days | Mar 11/20 Apr 28/20 | Mar 31/20 May 18/20 | |

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| B-77-1098 | Applicant: John Scheerhoorn Owner: 732676 Ontario Inc. Agent: N/A | 125 Mitchell Road, Pt Lt 25, Concession BF, Part 8, Plan 21R-25511 Zoning By-law amendment to Zoning By-law 3014 to rezone subject lands from Rural (RU) Zone and Prime Agriculture (PA) Zone to Rural Residential (RR) Zone and Rural (RU) Zone with special provisions for reduced lot area as a condition of consent | PP-2020-05 PP-2020-06 | 2020-31 | Nov 18/19 | Dec 12/19 | Jan 6/20 Feb 3/20 | Y | Feb 10/20 | Y | 84 Days | Feb 12/20 | Mar 3/20 | Mar 4/20 |
| B-77-1099 | Applicant/Owner: Darlene Quinsey (fixed Fur Life) Agent: Keith Watson OLS | 219 & 225 Dundas Street East Zoning By-law amendment to Zoning By-law 10245 to rezone from Highway Commercial (C3) General Commercial (C2) and Highway Commercial (C3) with special provisions to reduce front yard set back and frontage requirements as a condition of consent | PP-2020-10 PP-2020-15 | 2020-44 | Dec 12/19 | Jan 10/20 | Feb 3/20 Mar 2/20 | Y | Mar 9/20 | Y | 88 Days | Mar 11/20 Apr 28/20 | Mar 31/20 May 18/20 | |
| B-77-1100 | Applicant/Owner: Ellen McFaul Agent: Warren McFaul | 1139 Airport Parkway Zoning By-law amendment to Zoning By-law 3014 to rezone from Prime Agriculture (PA) and Rural (RU) to Prime Agriculture (PA) with special provisions to prohibit future severances and a portion of the subject land to Rural Residential (RR) with special provisions to permit dry storage in an existing accessory building as a condition of Consent | PP-2020-11 PP-2020-21 | 2020-100 | Jan 22/20 | Feb 7/20 | Mar 2/20 Apr 6/20 May 19/20 | Y | May 25/20 | Y | 124 Days | May 27/20 | Jun 16/20 | |
| B-77-1101 | Applicant: Quinte Boat Docks (Shawn Jansen) Owner: Vijayant Sood (Sandhu Malwa Holdings Inc) | 902 Wallbridge-Loyalist Road Zoning By-law amendment to Zoning By-law 2076-80 to rezone from Highway Commercial (CH) to Highway Commercial and Special Industrial (CH/MS) | PP-2020-12 PP-2020-22 | 2020-101 | Jan 23/20 | Feb 7/20 | Mar 2/20 Apr 6/20 May 19/20 | Y | May 25/20 | Y | 123 Days | May 27/20 | Jun 16/20 | |
| B-77-1102 | Applicant: Jessy Mathers Owner: Jessy Mathers | 1070 Thrasher Road Zoning By-law amendment to Zoning By-law 3014 to allow the continuation of a contractor's yard as a temporary use for a period of three years | PP-2020-13 PP-2020-23 | 2020-102 | Jan 24/20 | Feb 7/20 | Mar 2/20 Apr 6/20 May 19/20 | Y | May 25/20 | Y | 122 Days | May 27/20 | Jun 16/20 | |
| B-77-1103 | Applicant: Shehzad Haroon Owner: Gerald DiRocco Agent: RFA Planning Consultant Inc. (Shawn Legere) | 665 Dundas Street East Zoning By-law amendment to Zoning By-law 10245 to add special provisions to the General Industrial (M2) Zone to permit a Cannabis Production Facility and recognize the existing front yard setback and driveway width | PP-2020-14 PP-2020-24 | 2020-103 | Jan 29/20 | Feb 7/20 | Mar 2/20 Apr 6/20 May 19/20 | Y | May 25/20 | Y | 117 Days | May 27/20 | Jun 16/20 | |

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| B-77-1104 | Applicant: Nitin Malhorta Owner: Gurinder Saran | 8092 Highway 62 Zoning By-law amendment to Zoning By-law 3014 to rezone lands from General Commercial (C3-4) Zone to General Commercial (C3) Zone with special provisions to permit an eating establishment | PP-2020-17 | | Feb 10/20 | Mar-13/20 May 11/20 | Apr-6/20 Jun 1/20 | | | | | | | |
| B-77-1105 | Applicant/Owner: Sunny Punia (2737778 Ontario Ltd.) | Part of Lots 29 & 30, Reg. Plan 22 Zoning By-law amendment to Zoning By-law 3014 to rezone lands from Service Industrial (SI-2-H) Zone to Highway Commercial (C1) Zone with special provisions for relief on minimum front yard setback, maximum building height, minimum landscaping strip, and minimum parking space width | PP-2020-18 | | Mar 4/20 | Mar-13/20 May 11/20 | Apr-6/20 Jun 1/20 | | | | | | | |
| B-77-1106 | Applicant/Owner: Shawn Milne | 464 Mitchell Road Zoning By-law amendment to Zoning By-law 3014 to rezone lands with special provisions to add brewery and distillery as a permitted accessory use to the Prime Agriculture (PA) Zone | PP-2020-19 | | Feb 14/20 | Mar-13/20 May 11/20 | Apr-6/20 Jun 1/20 | | | | | | | |
| B-77-1107 | Applicant/Owner: Matt Giesebrecht Agent: Caitlin Sheahan (Ainley Group) | 144 Avondale Road Zoning By-law amendment to Zoning By-law 10245 to rezone severed parcels from Residential First Density (R1) Zone to Residential Second Density (R2) Zone as a condition of consent | PP-2020-20 | | Feb 27/20 | Mar-13/20 May 11/20 | Apr-6/20 Jun 1/20 | | | | | | | |
| B-77-1108 B-50-3-31 | Applicant/Agent: RFA Planning Consultant Inc. Owner: Quinte Business Development Centre Inc. | Wallbridge-Loyalist Road Part of Lot 31, Concession 1 To re-desigante lands from "Residential" to "Community Facility" in the Loyalist Secondary Plan and to amend Zoning By-law 2076-80 and rezone subject lands from Rurual Residential (RR-44) Zone to Community Facility (CF) Zone to permit a 600 square metre business development office | PP-2020-25 | | Apr 17/20 | May 11/20 | Jun 1/20 | | | | | | | |
| B-77-1109 | Applicant/Owner: Marlene Mackenzie Agent: Keith Watson OLS Watson Land Surveyors | 247 Harmony Road Zoning By-law amendment to Zoning By-law 3014 to rezone the retained portion of the subject land from Prime Agriculture (PA) Zone to Rural Residential (RR) Zone as a condition of consent | PP-2020-26 | | Apr 24/20 | May 11/20 | Jun 1/20 | | | | | | | |

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| B-77-1110 | Applicant: G.C.C Developments Ltd. Owner: Andy Geertsma Agent: N/A | 406 Maitland Drive - Unit 6 Zoning By-law amendment to Zoning By-law 3014 to rezone the subject land to include veterinary clinic as a permitted use in the General Industrial (M1-16) Zone | PP-2020-27 | | Apr 20/20 | May 11/20 | Jun 1/20 | | | | | | | |

NOTE: In the event that an application/file remains open a minimum of two years after the original submission, but has been inactive for a period of one year, the applicant and/or agent will be notified that the application/file has become inactive and will be given a six week timeline to respond with a plan to re-active the application/file to satisfaction of the Director of Engineering and Development Services or the application/file will be closed.